



City Council

Mayor John W. Minto
Vice Mayor Ronn Hall – District 2
Councilmember Rob McNelis – District 1
Councilmember Laura Koval – District 3
Councilmember Dustin Trotter – District 4

CITY OF SANTEE

REGULAR MEETING AGENDA

Santee City Council

City Manager | Wendy Kaserman
City Attorney | Shawn D. Hagerty
City Clerk | James Jeffries

MEETING INFORMATION

Wednesday, April 8, 2026
6:30 p.m.
Council Chamber | Building 2
10601 Magnolia Ave • Santee, CA 92071

TO WATCH LIVE:

AT&T U-verse channel 99 (SD Market) | Cox channel 117 (SD County)
www.cityofsanteeca.gov

IN-PERSON ATTENDANCE

Members of the public who wish to view the Council Meeting live may watch the live taping in the Council Chamber on the meeting date and time listed above.

LIVE PUBLIC COMMENT

Members of the public who wish to comment on matters on the City Council agenda or during Non-Agenda Public Comment may appear in person and submit a speaker slip before the item is called. Your name will be called when it is time to speak.

PLEASE NOTE: Public Comment will be limited to 3 minutes and speaker slips will only be accepted until the item is called. The timer will start when the participant begins speaking.



The City Council also sits as the Community Development Commission Successor Agency and the Santee Public Finance Authority. Any actions taken by these agencies are separate from the actions taken by City Council. For questions regarding this Agenda, please contact the City Clerk's Office at (619) 258-4100 x114.

ROLL CALL: Mayor John W. Minto
Vice Mayor Ronn Hall – District 2
Councilmember Rob McNelis – District 1
Councilmember Laura Koval – District 3
Councilmember Dustin Trotter – District 4

LEGISLATIVE INVOCATION:

PLEDGE OF ALLEGIANCE

CONSENT CALENDAR:

PLEASE NOTE: Consent Calendar items are considered routine and will be approved by one motion with no separate discussion. The public, staff or Councilmembers may request specific items be removed from the Consent Calendar for separate discussion or action. Speaker slips for this category must be submitted to the City Clerk at the start of the meeting. Speakers are limited to 3 minutes.

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Jeffries)**
- (2) **Approval of Meeting Minutes of the Santee City Council for the Regular Meeting of March 25, 2026. (City Clerk – Jeffries)**
- (3) **Approval of Payment of Demands as Presented. (Finance – Jennings)**
- (4) **Adoption of a Resolution Awarding the On-Call Professional Service Agreement to Barnett Quality Control Services Inc. dba Nova Services, Inc. for As Needed On-Call Special Inspection, and Geotechnical Services and Authorize the Director of Engineering to Award Task Orders. (Engineering – Schmitz)**

NON-AGENDA PUBLIC COMMENT (15 minutes):

Persons wishing to address the City Council regarding items not on the posted agenda may do so at this time. In accordance with State law, Council may not take action on an item not scheduled on the Agenda. If appropriate, the item will be referred to the City Manager or placed on a future agenda. This first Non-Agenda Public Comment period is limited to a total of 15 minutes. Additional Non-Agenda Public Comment will be heard prior to Council Reports.



PUBLIC HEARING:

- (5) Public Hearing for a Conditional Use Permit (CUP-2025-0004) for a Drive-Through Quick-Service Restaurant on a 2.02-Acre Lot at 9207 Mission Gorge Road (APN 383-124-52-00) in the General Commercial (GC) Zone, and Finding the Project Exempt from the California Environmental Quality Act (CEQA) Pursuant to CEQA Guidelines Section 15303 (Applicant: Lawrence Rafou, Primo Developers LLC). (Planning and Building – Sawa)**

Recommendation:

- 1. Conduct and close the Public Hearing; and
- 2. Find CUP-2025-0004 exempt from the provisions of CEQA pursuant to Section 15303 of the CEQA Guidelines and authorize the filing of a Notice of Exemption; and
- 3. Adopt the Resolution approving CUP-2025-0004.

- (6) Public Hearing to Adopt the Resolution Approving the Program Year 2026 Annual Action Plan and Authorizing the City Manager to Submit the Grant Application for Community Development Block Grant (CDBG) Funds to the U.S. Department of Housing and Urban Development (HUD) and Finding the Action is Not a Project Subject to the California Environmental Quality Act (CEQA). (Planning and Building – Sawa)**

Recommendation:

- 1. Conduct and close the Public Hearing; and
- 2. Adopt the Resolution approving the Program Year 2026 Annual Action Plan and authorize the City Manager to submit the grant application to HUD.

NON-AGENDA PUBLIC COMMENT (Continued):

All public comment not presented within the first Non-Agenda Public Comment period above will be heard at this time.

CITY COUNCIL REPORTS:

CITY MANAGER REPORTS:

CITY ATTORNEY REPORTS:

CLOSED SESSION:

ADJOURNMENT:





UPCOMING BOARDS, COMMISSIONS & COMMITTEES
APRIL AND MAY MEETINGS

Apr	08	Council Meeting	Council Chamber
Apr	13	Community Oriented Policing Committee	Council Chamber
Apr	22	Council Meeting	Council Chamber
May	06	Santee Park and Recreation Committee	Council Chamber
May	11	Community Oriented Policing Committee	Council Chamber
May	13	Council Meeting	Council Chamber
May	27	Council Meeting	Council Chamber

The Santee City Council welcomes you and encourages your continued interest and involvement in the City’s decision-making process.

For your convenience, a complete Agenda Packet is available for public review at City Hall and on the City’s website at www.CityofSanteeCA.gov.

The City of Santee complies with the Americans with Disabilities Act. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, as required by Section 12132 of the American with Disabilities Act of 1990 (42 USC § 12132). Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk’s Office at (619) 258-4100, ext. 114 at least 48 hours before the meeting, if possible.



MEETING DATE April 8, 2026

ITEM TITLE APPROVAL OF READING BY TITLE ONLY AND WAIVER OF READING IN FULL OF ORDINANCES AND RESOLUTIONS ON THE AGENDA

DIRECTOR/DEPARTMENT James Jeffries, City Clerk

SUMMARY

This Item asks the City Council to waive the reading in full of all Ordinances on the Agenda (if any) and approve their reading by title only. The purpose of this Item is to help streamline the City Council meeting process, to avoid unnecessary delay and to allow more time for substantive discussion of Items on the agenda.

State law requires that all Ordinances be read in full either at the time of introduction or at the time of passage, unless a motion waiving further reading is adopted by a majority of the City Council. (Gov. Code, § 36934). This means that each word in each Ordinance would have to be read aloud unless such reading is waived. Such reading could substantially delay the meeting and limit the time available for discussion of substantive Items. Adoption of this waiver streamlines the procedure for adopting the Ordinances on tonight's Agenda (if any), because it allows the City Council to approve Ordinances by reading aloud only the title of the Ordinance instead of reading aloud every word of the Ordinance.

The procedures for adopting Resolutions are not as strict as the procedures for adopting Ordinances. For example, Resolutions do not require two readings for passage, need not be read in full or even by title, are effective immediately unless otherwise specified, do not need to be in any particular format unless expressly required, and, with the exception of fixing tax rates or revenue amounts, do not require publication. However, like Ordinances, all Resolutions require a recorded majority vote of the total membership of the City Council. (Gov. Code § 36936).

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION

It is recommended that the Council waive the reading of all Ordinances and Resolutions in their entirety and read by title only.

ATTACHMENT

None.



MEETING DATE April 8, 2026

ITEM TITLE APPROVAL OF MEETING MINUTES OF THE SANTEE CITY COUNCIL FOR THE REGULAR MEETING OF MARCH 25, 2026

DIRECTOR/DEPARTMENT James Jeffries, City Clerk

SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION

Approve Minutes as presented.

ATTACHMENTS

March 25, 2026, Regular Meeting Minutes



DRAFT

**Minutes
Santee City Council
Council Chamber – Building 2
10601 Magnolia Avenue
Santee, California
March 25, 2026**

This Regular Meeting of the Santee City Council was called to order by Mayor John W. Minto at 6:30 p.m.

ROLL CALL: Present: Mayor John W. Minto, Vice Mayor Ronn Hall, and Councilmembers Laura Koval, Rob McNelis, and Dustin Trotter

Officers present: City Manager Wendy Kaserman, City Attorney Shawn Hagerty, and City Clerk James Jeffries

INVOCATION was given by Jerry Phillips, Meridian Baptist Church, El Cajon.

PLEDGE OF ALLEGIANCE was led by Jerry Phillips.

CONSENT CALENDAR:

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Jeffries)**
- (2) **Approval of Meeting Minutes of the Santee City Council for the Regular Meeting of March 11, 2026. (City Clerk – Jeffries)**
- (3) **Approval of Payment of Demands as Presented. (Finance – Jennings)**
- (4) **Approval of the Expenditure of \$50,827.20 for February 2026 Legal Services. (Finance – Jennings)**
- (5) **Adoption of a Resolution Authorizing the Purchase of New Structural Firefighting Clothing (Turnouts) from Allstar Fire Equipment, Inc., per Sourcewell Contract #010424-LIO. (Fire – Wallace) (Reso 025-2026)**
- (6) **Adoption of a Resolution Accepting the Public Improvements for the Prospect Estates II Subdivision (TM2016-03) as Complete and Finding this Acceptance is Not a CEQA Project. Location: Prospect Avenue at Marrokal Lane. (Engineering – Schmitz) (Reso 026-2026)**
- (7) **Adoption of a Resolution Authorizing Submission of the General Plan and Housing Element Annual Progress Report for Calendar Year 2025 to the State of California Office of Land Use and Climate Innovation and Department of Housing and Community Development; and Finding the**

Action is Not a Project and Therefore Not Subject to the California Environmental Quality Act. (Planning and Building – Sawa) (Reso 027-2026)

Action: Councilmember Koval moved approval of the Consent Calendar.

Councilmember McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Councilmembers Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

NON-AGENDA PUBLIC COMMENT (15 minutes):

- (A) Brenda Hammond spoke about the importance of working together and shared a recent experience she had in Santee.

CONTINUED BUSINESS:

- (8) **Resolution Approving a Parking License Agreement Between the City of Santee and Santee Hotel LP and Determining the Project is Categorically Exempt from Environmental Review Under the California Environmental Quality Act (“CEQA”) per State CEQA Guidelines Sections 15311 and 15304. (City Manager – Kaserman) (Reso 028-2026)**

Wendy Kaserman, City Manager, provided a PowerPoint presentation and responded to Council questions.

Action: Councilmember McNelis moved approval of staff recommendation.

Councilmember Trotter seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Councilmembers Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

NEW BUSINESS:

- (9) **SB 707 Implementation Update and Workshop. (City Clerk – Jeffries)**

James Jeffries, City Clerk, provided a verbal report and responded to Council questions with the assistance of Shawn Hagerty, City Attorney.

Following discussion, direction was given to staff.

NON-AGENDA PUBLIC COMMENT (Continued):

None.

CITY COUNCIL REPORTS:

Councilmember Koval acknowledged being sick during the previous City Council meeting and commented on the potential Summer Knights Renaissance Faire that was brought up during Non-Agenda Public Comment; she also proposed having all Boards, Commissions and Committees help fundraise for the Brews and Bites event.

Mayor Minto spoke about a recent SANDAG retreat and commented on how new members of the Board of Directors are working together better and are focused on the needs of the entire county and thanked them for their work.

CITY MANAGER REPORTS:

Wendy Kaserman, City Manager, reported she has a meeting scheduled with the organizers of the Summer Knights Renaissance Faire; she also reminded the community of the upcoming Bunny Trail event.

CITY ATTORNEY REPORTS:

None.

CLOSED SESSION:

Councilmembers recessed at 7:12 p.m. and convened in Closed Session at 7:16 p.m.

(10) Conference with Real Property Negotiators

(Government Code section 54956.8)

Property: APNs: 381-050-59, 381-050-77, 760-143-40, 381-050-69, 381-050-81, and 381-050-66

City Negotiator: City Manager

Negotiating Party: County of San Diego

Under Negotiation: Price and Terms of Payment

Councilmembers reconvened in Open Session at 7:38 p.m., with all members present. Mayor Minto reported for Item 10, direction given to staff.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 7:38 p.m.

Date Approved:

James Jeffries, City Clerk

MEETING DATE April 8, 2026

ITEM TITLE APPROVAL OF PAYMENT OF DEMANDS

DIRECTOR/DEPARTMENT Heather Jennings, Finance *HJ*

SUMMARY

A listing of checks that have been disbursed since the last Council meeting is submitted herewith for approval by the City Council.

FINANCIAL STATEMENT

Adequate budgeted funds are available for the Payment of Demands per the attached listing.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *wn*

Approve the Payment of Demands as presented.

ATTACHMENT

- 1) Summary of Payments Issued
- 2) Voucher Lists

Payment of Demands
Summary of Payments Issued

<u>Date</u>	<u>Description</u>	<u>Amount</u>
03/12/26	Accounts Payable	\$ 314,347.06
03/18/26	Accounts Payable	147,151.30
03/18/26	Accounts Payable	461.13
03/18/26	Accounts Payable	409,969.92
03/19/26	Payroll	511,862.99
03/19/26	Accounts Payable	31,116.96
03/19/26	Accounts Payable	48,633.72
03/20/26	Accounts Payable	57,377.94
03/24/26	Accounts Payable	161,350.79
03/25/26	Accounts Payable	1,279,883.41
	TOTAL	\$2,962,155.22

I hereby certify to the best of my knowledge and belief that the foregoing demands listing is correct, just, conforms to the approved budget, and funds are available to pay said demands.

Heather Jennings

Heather Jennings, Director of Finance

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141902	3/12/2026	10003 A & B SAW & LAWNMOWER SHOP	4988	55475	SMALL TOOL PARTS & REPAIRS	187.49
			5097	55475	SMALL TOOL PARTS & REPAIRS	371.20
					Total :	558.69
141903	3/12/2026	10010 AIS TRUST ACCOUNT NEWPORT	3428548		FIDO FEST 2026 EVENT INSURANC	2,620.00
					Total :	2,620.00
141904	3/12/2026	13292 BORDER RECAPPING LLC	26-0336704-008	55318	VEHICLE SUPPLIES	933.65
					Total :	933.65
141905	3/12/2026	12349 CHOICE LOCKSMITHING	022026TC	55354	FY25/26 LOCKSMITH SERVICES - A	928.44
					Total :	928.44
141906	3/12/2026	15152 COAR DESIGN GROUP	23119	54666	NEW FIRE STATION AT CITY OPER/	2,750.00
			23170	54666	NEW FIRE STATION AT CITY OPER/	11,796.50
					Total :	14,546.50
141907	3/12/2026	15413 COUNTYWIDE MECHANICAL SYSTEMS	78808	55384	FY25/26 PLUMBING REPAIRS & REI	2,082.40
			79017	55384	FY25/26 PLUMBING REPAIRS & REI	891.20
					Total :	2,973.60
141908	3/12/2026	10333 COX COMMUNICATIONS	038997401; FEB26		9951 RIVERWALK DR	57.00
			094486701; MAR26		CITY HALL GROUP BILL	3,411.99
					Total :	3,468.99
141909	3/12/2026	10333 COX COMMUNICATIONS	141609201; FEB26		APT IT-FS4 8950 COTTONWOOD AV	207.39
					Total :	207.39
141910	3/12/2026	12438 DIESEL PRINT CO LLC	3855	55271	HOMETOWN HEROES BANNER	175.42
					Total :	175.42
141911	3/12/2026	12970 DUDEK	202600287	55444	SD RIVER FIRE HAZ MIT PLAN	88,810.55
					Total :	88,810.55
141912	3/12/2026	14926 EAGLES POINT SECURITY INC	31779	55515	PARK SECURITY	2,898.00
					Total :	2,898.00

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141913	3/12/2026	14446 ENTERPRISE FM TRUST	282938A-030426 FOT0193792	55339	VEHICLE LEASING PROGRAM FLEET MAINTENANCE SERVICES	18,025.57 311.22 Total : 18,336.79
141914	3/12/2026	11509 ENV PRODUCTIONS INC	SANFF0226		SPECIAL EVENT ENTERTAINMENT	995.00 Total : 995.00
141915	3/12/2026	15880 EVERDE GROWERS	1573196	55558	AS NEEDED BULK PLANT MATERIA	1,035.35 Total : 1,035.35
141916	3/12/2026	12120 GEOCON INCORPORATED	126010135	55429	GEOTECHNICAL REVIEW - SUMMIT	520.00 Total : 520.00
141917	3/12/2026	10070 HAWTHORNE CAT MACHINERY	SS000253905	55583	EMERGENCY REPAIR OF SKIP LOA	12,048.06 Total : 12,048.06
141918	3/12/2026	15685 IMS INFRASTRUCTURE MGMT SVS	260223-01	55396	PROGRESS PAYMENT #5 (FINAL) C	918.00 Total : 918.00
141919	3/12/2026	10204 LIFE ASSIST INC	2067754 2068497	55324 55324	EMS SUPPLIES EMS SUPPLIES	1,682.45 1,843.00 Total : 3,525.45
141920	3/12/2026	10507 GREAT AMERICA FINANCIAL SVCS	41359994; MAR26		MITEL MXE III CONTROLLER SATA :	1,588.52 Total : 1,588.52
141921	3/12/2026	10083 MUNICIPAL EMERGENCY SERVICES L	IN2364686 IN2364774	55363 55363	FIREFIGHTING EQUIPMENT FIREFIGHTING EQUIPMENT	77.11 292.79 Total : 369.90
141922	3/12/2026	10344 PADRE DAM MUNICIPAL WATER DIST	29700015; FEB26 90000366; FEB26		CONSTRUCTION METER GROUP BILL	271.92 24,747.58 Total : 25,019.50
141923	3/12/2026	14614 PARADIGM MECHANICAL CORP	114648 114698	55387 55387	FY25/26 HVAC MAINT & REPAIRS FY25/26 HVAC MAINT & REPAIRS	1,105.32 144.90 Total : 1,250.22

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141924	3/12/2026	10241 PETTY CASH - CAROLINE SUCH	021126		PETTY CASH REIMB - PB&E	380.59
					Total :	380.59
141925	3/12/2026	15343 QUADIENT FINANCE USA INC	0002846612		QUADIENT POSTAGE FUNDING	178.00
					Total :	178.00
141926	3/12/2026	15425 RENEWELL FLEET SERVICE LLC	9844	55367	VEHICLE REPAIR	4,475.43
					Total :	4,475.43
141927	3/12/2026	15458 REYES, LEOANGELO	621		INSTRUCTOR PAYMENT - SENIORS	617.00
					Total :	617.00
141928	3/12/2026	13666 RINGCENTRAL INC	CD_001355135		62758185006; FEB26	2,802.10
					Total :	2,802.10
141929	3/12/2026	15847 ROBAK, TREY	CPRS-2026-TR		PER DIEM PLAYGROUND SAFETY I	301.00
					Total :	301.00
141930	3/12/2026	10606 SD COUNTY SHERIFF'S DEPT	CALIDSAN04	55544	CAL-ID PROGRAM	5,047.80
					Total :	5,047.80
141931	3/12/2026	10407 SAN DIEGO GAS & ELECTRIC	04229703218; FEB26 22373580042; FEB26		STREET LIGHTS TRAFFIC SIGNALS	48,911.14 8,668.00
					Total :	57,579.14
141932	3/12/2026	10768 SANTEE SCHOOL DISTRICT	9916	55370	FY25/26 JOINT USE FIELDS - RIO S	348.47
					Total :	348.47
141933	3/12/2026	10768 SANTEE SCHOOL DISTRICT	9915	55409	TRANSPORTATION TEEN CENTER	301.12
					Total :	301.12
141934	3/12/2026	13171 SC COMMERCIAL, LLC	IN-0000300949	55576	BULK FUEL PURCHASES	600.90
					Total :	600.90
141935	3/12/2026	14797 SEDANO FORD OF LM INC	282662	55373	VEHICLE REPAIR	180.00
					Total :	180.00
141936	3/12/2026	12223 SITEONE LANDSCAPE SUPPLY LLC	162336237-001	55389	IRRIGATION PARTS	1,522.59

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141936	3/12/2026	12223 SITEONE LANDSCAPE SUPPLY LLC	(Continued)			
			162348597-001	55389	IRRIGATION PARTS	3,978.36
			162417399-001	55389	IRRIGATION PARTS	1,062.62
			162705171-001	55389	IRRIGATION PARTS	164.11
					Total :	6,727.68
141937	3/12/2026	10217 STAPLES ADVANTAGE	6054291565	55412	CSD OFFICE SUPPLIES	18.52
			6055589807	55393	FY25/26 OFFICE SUPPLIES - PSD	192.86
			6056023712	55393	REFUND OF RETURNED OFFICE PI	-192.86
			6056154492	55412	CSD OFFICE SUPPLIES	78.95
					Total :	97.47
141938	3/12/2026	10119 STEVEN SMITH LANDSCAPE INC	48302A	55375	FY25/26 - AREA 3 LANDSCAPE SEF	11,918.32
					Total :	11,918.32
141939	3/12/2026	10925 THE CENTRE FOR ORGANIZATION	TCFOE5410		PROFESSIONAL DEVELOPMENT	999.00
					Total :	999.00
141940	3/12/2026	11193 TMAN TRAFFIC SUPPLY	17369	55486	TRAFFIC SIGNS & SUPPLIES	220.61
					Total :	220.61
141941	3/12/2026	15091 T-MOBILE USA INC	993045165; FEB26		CITY HALL	2,058.05
					Total :	2,058.05
141942	3/12/2026	11112 ULINE	204397533		MATERIALS AND SUPPLIES	886.45
					Total :	886.45
141943	3/12/2026	12480 UNITED SITE SERVICES	114-14195655	55423	PORTAPOT	358.36
			114-14196662	55423	VAULT SERVICE	180.00
					Total :	538.36
141944	3/12/2026	10642 USPS-POC	02282026		POSTAGE REIMBURSEMENT	2,361.16
					Total :	2,361.16
141945	3/12/2026	15885 VOSS SPIN TENNIS ACADEMY	22026		INSTRUCTOR PAYMENT	4,987.50
					Total :	4,987.50
141946	3/12/2026	10136 WEST COAST ARBORISTS INC	232101-A	55395	FY25/26 URBAN FORESTRY MANA	4,839.16

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141946	3/12/2026	10136 WEST COAST ARBORISTS INC	(Continued)			
			235270	55395	FY25/26 URBAN FORESTRY MANA	1,520.00
			240161	55395	FY25/26 URBAN FORESTRY MANA	227.84
			240217	55395	FY25/26 URBAN FORESTRY MANA	3,800.00
					Total :	10,387.00
141947	3/12/2026	14687 WEX BANK	111203973		FLEET CARD FUELING	16,625.89
					Total :	16,625.89
46 Vouchers for bank code : ubgen					Bank total :	314,347.06
46 Vouchers in this report					Total vouchers :	314,347.06

Prepared by: *Justin*
Date: 3.12.26
Approved by: *[Signature]*
Date: 3/12/26

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
6420	3/18/2026	10956 FRANCHISE TAX BOARD	PPE 3/11/26		CA STATE TAX WITHHELD	36,908.02
					Total :	36,908.02
6427	3/18/2026	10955 DEPARTMENT OF THE TREASURY	PPE 3/11/26		FEDERAL WITHHOLDING TAX	110,243.28
					Total :	110,243.28
2 Vouchers for bank code : ubgen						Bank total : 147,151.30
2 Vouchers in this report						Total vouchers : 147,151.30

Prepared by: Juch
Date: 3-20-26
Approved by: E-Bull
Date: 3-25-26

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
633827	3/18/2026	12774 LIABILITY CLAIMS ACCOUNT	031126		LIABILITY CLAIMS	461.13
Total :						461.13
1 Vouchers for bank code : ubgen						Bank total : 461.13
1 Vouchers in this report						Total vouchers : 461.13

Prepared by: _____

Date: _____

[Handwritten Signature]
3/25/26

Approved by: _____

Date: _____

3/25/26

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141948	3/18/2026	11139 ACE UNIFORMS, LLC - SAN DIEGO	SD0259183	54990	WEARING APPAREL	35.55
Total :						35.55
141949	3/18/2026	10017 BAY CITY ELECTRIC WORKS	W326106	55378	FY25/26 GENERATOR MAINT & REF	218.75
Total :						218.75
141950	3/18/2026	15965 CASSEL, EMILY	303823		LIVESCAN	35.00
Total :						35.00
141951	3/18/2026	10032 CINTAS CORPORATION 694	4248774489	55335	MISC SHOP RENTALS	77.01
			4249449243	55335	MISC SHOP RENTALS	40.72
			4250309752	55335	MISC SHOP RENTALS	55.00
			4251003110	55335	MISC SHOP RENTALS	37.13
			4251017700	55335	STATION SUPPLIES	55.66
			4251200072	55335	MISC SHOP RENTALS	40.72
			4251541830	55335	MISC SHOP RENTALS	37.13
			4251706523	55335	MISC SHOP RENTALS	40.72
			4252325907	55335	MISC SHOP RENTALS	37.13
			4252505973	55335	MISC SHOP RENTALS	40.72
			4253098573	55335	MISC SHOP RENTALS	37.13
			4253283849	55335	MISC SHOP RENTALS	55.00
			4253931107	55335	MISC SHOP RENTALS	37.13
			4253967666	55335	STATION SUPPLIES	55.66
			4254135264	55335	MISC SHOP RENTALS	40.72
			4254792634	55335	MISC SHOP RENTALS	40.72
			4255294721	55335	MISC SHOP RENTALS	37.13
			4255481777	55335	MISC SHOP RENTALS	40.72
			4256053885	55335	MISC SHOP RENTALS	37.13
			4256229465	55335	MISC SHOP RENTALS	55.00
			4256803179	55335	MISC SHOP RENTALS	37.13
			4256981475	55335	MISC SHOP RENTALS	40.72
			4256984885	55335	STATION SUPPLIES	55.66
			4257494561	55335	MISC SHOP RENTALS	37.13
			4257702803	55335	MISC SHOP RENTALS	40.72
			4258256202	55335	MISC SHOP RENTALS	37.13
			4258437063	55335	MISC SHOP RENTALS	40.72

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141951	3/18/2026	10032 CINTAS CORPORATION 694	(Continued)			
			4259006893	55335	MISC SHOP RENTALS	37.13
			4259185629	55335	MISC SHOP RENTALS	55.00
			4259754886	55335	MISC SHOP RENTALS	37.13
			4259929489	55335	MISC SHOP RENTALS	40.72
			4259978981	55335	STATION SUPPLIES	55.66
			4260494136	55335	MISC SHOP RENTALS	37.13
			4260708899	55335	MISC SHOP RENTALS	40.72
					Total :	1,490.98
141952	3/18/2026	15968 CPC SERVICES INC	SLEMSA031326		REFUND - AMBULANCE BILLING	3,613.98
					Total :	3,613.98
141953	3/18/2026	15962 DAWSON, FAIITH	2005162.001		REFUND OF ROOM RENTAL CANCE	300.00
					Total :	300.00
141954	3/18/2026	14811 DIGITECH COMPUTER LLC	618002126	55456	SLEMSA BILLING CONTRACT SERV	33,690.26
					Total :	33,690.26
141955	3/18/2026	15651 EAGLE PAVING CO LLC	CIP2025-02 RR		RETENTION RELEASE CIP2025-02	48,039.15
					Total :	48,039.15
141956	3/18/2026	11196 HD SUPPLY FACILITIES	9246225119	55430	PARK SUPPLIES	155.11
			9246243616	55358	STATION SUPPLIES	1,102.17
					Total :	1,257.28
141957	3/18/2026	15967 HOURANI, VICTOR	303467		LIVESCAN	35.00
					Total :	35.00
141958	3/18/2026	10154 MCDUGAL BOEHMER FOLEY LYON	115828		SLEMSA LEGAL SERVICES JANUAF	660.00
					Total :	660.00
141959	3/18/2026	15954 NEW FUTURE ENTERPRISE	BL-001782-2025		REFUND OF INV-00012988	112.00
					Total :	112.00
141960	3/18/2026	15600 PACIFIC LAWN MOWER WORKS	220000105002	55511	AS-NEEDED LAWN MOWER PARTS	131.37
			220000105068	55511	AS-NEEDED LAWN MOWER PARTS	172.35

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141960	3/18/2026	15600	15600 PACIFIC LAWN MOWER WORKS (Continued)			Total : 303.72
141961	3/18/2026	10344	PADRE DAM MUNICIPAL WATER DIST 90000367; MAR26		GROUP BILL	25,215.84
						Total : 25,215.84
141962	3/18/2026	14614	PARADIGM MECHANICAL CORP 114755 114767	55387 55387_	FY25/26 HVAC MAINT & REPAIRS FY25/26 HVAC MAINT & REPAIRS	364.38 593.30
						Total : 957.68
141963	3/18/2026	10932	PERRY ELECTRIC 1707-3 CIP2023-09 3R	55556	TRAFFIC SIGNAL AND COMMUNIC/ RETENTION #3	38,750.00 -1,937.50
						Total : 36,812.50
141964	3/18/2026	12062	PURETEC INDUSTRIAL WATER 2386739	55528	DEIONIZED WATER SERVICE	163.00
						Total : 163.00
141965	3/18/2026	15966	RENNA, MORRIS 303906		LIVESCAN	35.00
						Total : 35.00
141966	3/18/2026	15847	ROBAK III, LAWRENCE CPRS-2026-TR		PER DIEM PLAYGROUND SAFETY I	301.00
						Total : 301.00
141967	3/18/2026	15952	SANTEE AUTO CENTER LLC GRD20230005		DEVELOPER DEPOSIT REFUND	243,546.86
						Total : 243,546.86
141968	3/18/2026	15964	SANTEE CHAMBER FOUNDATION 3		MISS SANTEE PROGRAM 2026	1,500.00
						Total : 1,500.00
141969	3/18/2026	14797	SEDANO FORD OF LM INC 20539860	55373	VEHICLE REPAIR PART	36.04
						Total : 36.04
141970	3/18/2026	13206	SHARP BUSINESS SYSTEMS DIVISIO 9005718504 9005718573		COPY CHARGES COPY CHARGES	960.78 17.35
						Total : 978.13
141971	3/18/2026	12223	SITEONE LANDSCAPE SUPPLY LLC 162722674-001	55389	IRRIGATION PARTS	451.47
						Total : 451.47

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141972	3/18/2026	10217 STAPLES ADVANTAGE	6054291567	55412	CSD OFFICE SUPPLIES	67.39
			6056321111	55438	OFFICE SUPPLIES	75.41
			6056661301	55349	FY 25/26 OFFICE SUPPLIES - FINA	342.54
					Total :	485.34
141973	3/18/2026	10119 STEVEN SMITH LANDSCAPE INC	48682	55374	FY25/26 AREA 2 LANDSCAPE SERV	6,022.00
					Total :	6,022.00
141974	3/18/2026	15766 TOASTMASTERS INTERNATIONAL	03102026TI	55615	TOASTMASTERS INTERNATIONAL I	1,495.00
					Total :	1,495.00
141975	3/18/2026	10482 TRISTAR RISK MANAGEMENT	255010558		CLAIM 255010558 OVERPAYMENT F	960.17
					Total :	960.17
141976	3/18/2026	12480 UNITED SITE SERVICES	INV-5931894	55423	PORTABLE TOILET RENTAL/SERVIC	135.54
					Total :	135.54
141977	3/18/2026	15312 WILCOX SUPPLY INC	346273-1	55313	VEHICLE SUPPLIES	958.98
					Total :	958.98
141978	3/18/2026	10318 ZOLL MEDICAL CORPORATION	4436906	55330	EMS SUPPLIES	123.70
					Total :	123.70
31 Vouchers for bank code : ubgen						Bank total : 409,969.92
31 Vouchers in this report						Total vouchers : 409,969.92

Prepared by:

Date:

Approved by:

Date:

J. Wash
3/18/26
[Signature]
3/18/26

EARNINGS SECTION					DEDUCTIONS SECTION			LEAVE SECTION					
Type	Hours/units	Rate	Amount	Src	Plan	Base Wages	Deduction	Benefit/Cont	LvPlan	Accrued	Taken	Banked	Lost
					rhsabc	34,528.93	690.59						
					roth	129,364.90	14,815.14						
					sb-1		97.65						
					sb-3		71.76						
					sffa		3,760.96						
					sffapc		1,015.22						
					st1cs3	67,837.50	2,035.13	-2,035.13					
					st2cs3	17,153.94	514.62	-514.62					
					texlif		364.68						
					vaccpr		1,068.50						
					vaccpt		191.66						
					vcanpr		362.27						
					vcanpt		113.15						
					vgcipt		93.26						
					vghipr		60.29						
					vision	24,070.16	568.27						
					voladd		17.50						
					voldis		598.51						
					vollif		156.83						
					vollpb			-156.83					
Grand Totals	16,676.33		806,710.43				294,847.44	92,576.30					

Gross:	806,710.43
Net:	511,862.99

<< No Errors / 12 Warnings >>

EB
3/17/26
DPE 3/11/26
Paydate 3/19/26

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141979	3/19/2026	12724 AMERICAN FIDELITY ASSURANCE	D953460		VOLUNTARY LIFE INS-AM FIDELITY	7,049.90
					Total :	7,049.90
141980	3/19/2026	12903 AMERICAN FIDELITY ASSURANCE CO	2707022C PPE 3/11/26		FLEXIBLE SPENDING ACCOUNT	4,050.66
					FLEXIBLE SPENDING ACCOUNT	4,050.66
					Total :	8,101.32
141981	3/19/2026	14793 CONTROLLING INS COST IN CA, SCHOOL 2026-3			EMPLOYEE ASSISTANCE PROGRAI	452.48
					Total :	452.48
141982	3/19/2026	12722 FIDELITY SECURITY LIFE	167243572		EYEMED - VOLUNTARY VISION	1,138.19
					Total :	1,138.19
141983	3/19/2026	10508 LIFE INSURANCE COMPANY OF	March 2026		LIFE INSURANCE	3,533.98
					Total :	3,533.98
141984	3/19/2026	14452 MEDICAL AIR SERVICES ASSOC B2B	March 2026		MEDICAL AIR TRANSPORT SVCS	207.00
					Total :	207.00
141985	3/19/2026	14458 METROPOLITAN LIFE INSURANCE	89031610		VOLUNTARY LEGAL	798.00
					Total :	798.00
141986	3/19/2026	10784 NATIONAL UNION FIRE INSURANCE	March 2026		VOLUNTARY AD&D	35.05
					Total :	35.05
141987	3/19/2026	10335 SAN DIEGO FIREFIGHTERS FEDERAL	PPE 3/11/26		LONG TERM DISABILITY-SFFA-	1,386.50
					Total :	1,386.50
141988	3/19/2026	10424 SANTEE FIREFIGHTERS	PPE 3/11/26		BATT CHIEF-STATION EXPENSE	4,913.45
					Total :	4,913.45
141989	3/19/2026	10776 STATE OF CALIFORNIA	PPE 3/11/26		WITHHOLDING ORDER	449.53
					Total :	449.53
141990	3/19/2026	10776 STATE OF CALIFORNIA	PPE 3/11/26		WITHHOLDING ORDER	260.30
					Total :	260.30

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141991	3/19/2026	14467 TEXAS LIFE INSURANCE COMPANY	SM0F0U20260211001		VOLUNTARY INS RIDERS	729.45
Total :						729.45
141992	3/19/2026	10001 US BANK	PPE 3/11/26		PARS RETIREMENT	1,420.28
Total :						1,420.28
141993	3/19/2026	14600 WASHINGTON STATE SUPPORT	PPE 3/11/26		WITHHOLDING ORDER	641.53
Total :						641.53
15 Vouchers for bank code : ubgen						Bank total : 31,116.96
15 Vouchers in this report						Total vouchers : 31,116.96

Prepared by: *J. [Signature]*
Date: 3-19-26
Approved by: *E. [Signature]*
Date: 3-19-26

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141995	3/19/2026	10001 US BANK	0006611		ADJUSTABLE AND ERGONOMIC MC	269.36
			0014231		GROUNDS MAINTENANCE SUPPLII	75.77
			0028600		SPECIAL EVENT SUPPLIES	56.97
			0033463		MATERIALS AND SUPPLIES	129.30
			008606		COUNCIL MEETING SUPPLIES	73.73
			0124		JOB POSTING - SENIOR TRAFFIC E	50.00
			0178207		SOFTWARE RENEWAL	149.95
			018599		COMMUNITY CENTER GROUNDBRI	17.22
			0193456-IN		EMT BADGES	1,179.31
			02012026		EVENT PROMOTION	90.00
			02032026		PROFESSIONAL DEVELOPMENT AI	140.40
			02032026TS		PROFESSIONAL DEVELOPMENT	41.60
			020564		TEEN CENTER SUPPLIES	40.60
			022068		MATERIALS AND SUPPLIES	183.18
			022169		ELECTRICAL SUPPLIES	1,410.45
			022250		ELECTRICAL SUPPLIES	1,410.45
			02P44330		VEHICLE REPAIR PART	71.48
			031304		WELLNESS	169.00
			040040		MEETING SUPPLIES	23.67
			040475		SAND FOR SANDBAGS 13 TONS D	553.30
			0440244		OFFICE EQUIPMENT	23.03
			044606		MEETING SUPPLIES	17.34
			0482626		EQUIPMENT SUPPLIES	40.72
			0511451		MATERIALS	78.50
			0522488		MATERIALS AND SUPPLIES	37.59
			0522525		GENERAL EVENT SUPPLIES	63.40
			0524562		MATERIALS AND SUPPLIES	53.77
			052666		PRINTING CHARGES	29.20
			053390		MEETING SUPPLIES	96.05
			058366		SPECIAL EVENT SUPPLIES	51.89
			061045		MEETING SUPPLIES	15.79
			062872		EVENT SUPPLIES	34.58
			077142		OFFICE SUPPLIES	101.97
			0789061		VEHICLE SUPPLIES	177.75
			082110		MEMBERSHIP DUES - GOHRES	972.90
			082127		MEETING SUPPLIES	12.05

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141995	3/19/2026	10001 US BANK	(Continued)			
			089432		SENIOR SUPPLIES	79.36
			089687		AUDIO/VISUAL EQUIPMENT	141.03
			092092		TEEN CENTER TIE DYE SUPPLIES	69.37
			093397		TEEN CENTER SUPPLIES	44.37
			098465		SHIPPING CHARGE	506.21
			099057		SENIOR SUPPLIES	11.94
			1001394.007		CA FIRE MECHANICS ACADEMY	695.00
			1033642		MATERIALS AND SUPPLIES	16.13
			1033643		PLUMBING SUPPLIES	16.13
			1105819		DRONE LIGHTS NEW FAA REQUIR	33.38
			1107033		MEETING SUPPLIES	37.06
			1112184		MEETING SUPPLIES	37.06
			11132		MEETING SUPPLIES	19.73
			1190337		2026 CA & FEDERAL LAW POSTER:	360.20
			1206849		BUNNY TRAIL SUPPLIES	1,424.74
			12181915		TRAINING SUPPLIES	485.58
			12500025		SD ECON DEV ROUNDTABLE PARK	12.00
			1258229		DATE STAMP	47.50
			12625		MEETING SUPPLIES	18.12
			1303403		OFFICE SUPPLIES	8.61
			14005185		TOP SOIL	208.29
			1407921		CPRS EVENT REGISTRATION	80.00
			1416276		PROFESSIONAL DEVELOPMENT	146.67
			1416345		MEMBERSHIP AND SUBSCRIPTION	185.00
			1435731		MISSION GORGE RECREATION BAI	422.12
			145988640		OFFICE SUPPLIES	70.95
			15064612		MISSION GORGE EVENT BANNER	324.66
			1522416		STATION SUPPLIES	16.37
			15545200		EVENT SUPPLIES	38.71
			1629BD7-1		FIREFIGHTERS TEXTING SERVICE	40.00
			1633808		FITNESS EQUIPMENT	172.39
			19374505		EMAIL MARKETING SERVICE	350.00
			201524		FLAGS	128.49
			2018583		CEQA UPDATES ISSUES & TRENDS	418.00
			2068192		LCW CONFERENCE	750.90
			2068195		LCW TRAVEL	750.90

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141995	3/19/2026	10001 US BANK	(Continued)			
			2187449		STATION SUPPLIES	298.45
			219502		SHIPPING CHARGE	23.58
			2272240		MATERIALS AND SUPPLIES	96.74
			2411420		MATERIALS AND SUPPLIES	42.02
			2619		TYPE 1 FINAL INSPECTION	70.27
			2692249		OFFICE SUPPLIES	6.24
			2772668		TRANSPORTATION CHARGE	174.00
			28974		SPRING RECREATION BROCHURE:	612.58
			29315821		SENIOR TRIPS	1,922.40
			2945752		DIGITAL MARKETING TOOL	252.00
			30228451		BUSINESS CARDS AND MEETING M	195.76
			30236873		BUSINESS CARDS	42.54
			30246965		SANTEE 250 BANNERS	146.65
			30247666		AMERICA 250 BANNER	242.31
			30249012		BUSINESS CARDS	85.08
			30252532		PRINTED MARKETING MATERIAL	476.85
			31226-1		CREDIT CARD PROCESSING TEST	1.03
			31226-2		CREDIT CARD PROCESSING TEST	-1.03
			31826-1		AIRFARE	383.81
			31826-2		AIRFARE	143.80
			31826-3		REGISTRATION FEE	650.00
			31826-4		TRANSPORTATION	29.69
			31826-5		TRANSPORTATION	30.85
			31826-6		PARKING	69.00
			3210660		OFFICE SUPPLIES	23.71
			3231485		MATERILS AND SUPPLIES	148.57
			3245022		OFFICE EQUIPMENT	80.25
			3412235		OFFICE SUPPLIES	255.90
			3684266		OFFICE SUPPLIES	134.80
			3765860		OFFICE SUPPLIES	113.11
			3887		EVENT BANNER DECALS	130.00
			3894625		OFFICE SUPPLIES	37.08
			3917017		FIDO FEST SUPPLIES	9.69
			4010075		GROUND MAINTENANCE	26.77
			4010125		MATERIALS AND SUPPLIES	80.00
			41835		CPRS AWARDS BREAKFAST	40.00

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141995	3/19/2026	10001 US BANK	(Continued)			
			425110		OFFICE SUPPLIES	15.25
			4341817		ENGINEERING SUPPLIES	29.08
			4543245		EVENT SUPPLIES	92.60
			46126193		MONTHLY GOOGLE SEARCH WEB	3.28
			4621830		MEETING SUPPLIES	57.53
			47565		SHADOW HILL PARK SIGNAGE	70.04
			4795444		VEHICLE SUPPLIES	42.70
			48620424		REFERENCE MANUAL	87.36
			4940201		FIDO FEST SUPPLIES	19.38
			4953		CP&DR SUBSCRIPTION	148.80
			495900		WELLNESS	358.91
			4MNBYB48K9F		CA TRAINING OFFICERS SYMP	375.00
			5011174		FIDO FEST SUPPLIES	22.21
			51833		BUILDING SUPPLIES	242.44
			5231407		MATERIALS AND SUPPLIES	195.76
			524755		TRAINING MATERIALS	936.10
			5265014		MATERIALS AND SUPPLIES	12.54
			5395440		MATERIALS AND SUPPLIES	571.10
			5514006		MATERIALS AND SUPPLIES	171.81
			5523503		MATERIALS AND SUPPLIES	94.71
			5531331		FITNESS EQUIPMENT	9.68
			55479C05		LCW CONFERENCE	45.95
			5751423		OFFICE SUPPLIES	19.40
			57808490		TEEN CENTER BOWLING	404.70
			5906663		OFFICE SUPPLIES	21.53
			5909833		BROOM FOR FACILITIES	43.09
			600256935		AED	2,324.16
			6011076		MATERIALS AND SUPPLIES	47.13
			6136724		DOMAIN NAME RENEWAL	95.88
			6310666		OFFICE SUPPLIES	89.17
			6523392		SMALL TOOLS	32.26
			6525400		FITNESS EQUIPMENT	19.37
			68353A		STATE WATER RESOURCES CONTI	673.00
			68353B		STATE WATER RESOURCES CONTI	18.51
			6855433		GENERAL EVENT SUPPLIES	42.28
			6929862		OFFICE SUPPLIES	24.43

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141995	3/19/2026	10001 US BANK	(Continued)			
			6930651		MATERIALS AND SUPPLIES	45.23
			69483181COUNT		CA FIRE MECHANICS ACADEMY	277.80
			6951441969		PRINTING	2,724.94
			6974616		SKATEPARK SUPPLIES	63.59
			7003408		OFFICE SUPPLIES	319.13
			7013226		MATERIALS AND SUPPLIES	9.50
			7020883		MATERIALS AND SUPPLIES	31.81
			7077853		GENERAL EVENT SUPPLIES	8.29
			71082462		MATERIALS AND SUPPLIES	120.57
			7122		PROFESSIONAL DEVELOPMENT	520.95
			73039-89		COMMUNICATION CHARGES	130.00
			74165		MATERIALS AND SUPPLIES	132.00
			746108		EQUIPMENT SUPPLIES	473.41
			7512110		MATERIALS AND SUPPLIES	18.82
			7521012		MATERIALS AND SUPPLIES	66.74
			7616218		OFFICE SUPPLIES	48.15
			7698666		MATERIALS AND SUPPLIES	34.45
			77319		MATERIALS AND SUPPLIES	43.08
			78328		EQUIPMENT SUPPLIES	568.92
			7905031		COMMUNICATION EQUIPMENT	619.56
			7941035		MATERIALS AND SUPPLIES	18.19
			7941846		EQUIPMENT SUPPLIES	179.04
			8024226		REPLACEMENT BATTERIES	322.17
			8033		CALBO ANNUAL BUSINESS MEETIN	995.00
			8146644		MEETING SUPPLIES	54.25
			81604		MATERIALS AND SUPPLIES	117.42
			8511967		EVENT SUPPLIES	12.84
			8544537		MATERIALS AND SUPPLIES	150.13
			860004		MUSIC LICENSING - SPECIAL EVEN	791.00
			86011		FITNESS EQUIPMENT	23.04
			8638652		OFFICE SUPPLIES	93.32
			8638652-1		OFFICE SUPPLIES	48.40
			8638652-2		OFFICE SUPPLIES	48.40
			87358		PROFESSIONAL DEVELOPMENT	185.00
			8765006		OFFICE SUPPLIES	121.58
			8876168		COUNTY OF SD RECORDER - MAF	0.90

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141995	3/19/2026	10001 US BANK	(Continued)			
			8876168A		COUNTY OF SD RECORDER - SER	0.02
			8876209		COUNTY OF SD RECORDER - MAP	0.90
			8876209A		COUNTY OF SD RECORDER - SER	0.02
			9061023		STATION SUPPLIES	41.19
			9101004		MATERIALS AND SUPPLIES	63.20
			9303447		MATERIALS AND SUPPLIES	73.90
			93790340		VEHICLE MAINTENANCE	160.00
			94297		STAFF HOODIES	240.34
			94298		STAFF HOODIES	547.01
			9511847		EQUIPMENT MAINTENANCE	32.20
			9520740		MATERIALS AND SUPPLIES	64.55
			9608240-A		STATION SUPPLIES	355.36
			9608240-B		STATION SUPPLIES	160.60
			9615413		OFFICE SUPPLIES	10.76
			9718		NAME PLATES	242.44
			98465		STATION SUPPLIES	40.88
			E12348		2026 ADVANCED CEQA WORKSHO	740.00
			EC2554181		RESCUE EQUIPMENT	624.19
			FTNFCWFXGLK		MSA MEETING	140.40
			INV7211		MATERIALS AND SUPPLIES	225.00
			INV7213		MATERIALS AND SUPPLIES	745.00
			INV7267		MATERIALS AND SUPPLIES	450.00
			QI5AJQC		SECURITY CERTIFICATE FOR WEB	983.70
			R085706187		PROMOTIONAL MATERIAL	306.01
			RCYQ9RJMZA		PROCARD USED IN ERROR 02/202	508.28
			S122692209		PLUMBING SUPPLIES	98.43
			SO-1906667		EQUIPMENT SUPPLIES	275.76
			VP_T3S5CJKW		PUB ED MATERIALS	584.04
			XA290249471:01		VEHICLE REPAIR PARTS	353.91
			XA290250297:01		CR, VEHICLE REPAIR PART	-67.87
			ZRL3LMR		MEETING REGISTRATION	100.00
			ZXNP5DRQMTV		CA TRAINING OFFICERS SYMP	475.00
Total :						48,633.72
1 Vouchers for bank code : ubgen						Bank total : 48,633.72

Bank code : ubgen

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
1		Vouchers in this report				
Total vouchers :						48,633.72

Prepared by: _____

Date: _____

Juan M
3-19-26 



Approved by: _____

Date: _____

3/19/26



Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
6193698	3/20/2026	14705 RHS MISSIONSQUARE	PPE 3/11/26		RETIREE RHSA	5,200.05	
						Total :	5,200.05
6252840	3/20/2026	14704 457 MISSIONSQUARE	PPE 3/11/26		ICMA - 457	52,177.89	
						Total :	52,177.89
2 Vouchers for bank code : ubgen						Bank total :	57,377.94
2 Vouchers in this report						Total vouchers :	57,377.94

Prepared by: 
Date: 3-20-26
Approved by: 
Date: 3-25-26

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3264	3/24/2026	10353 PERS	03 26 4		RETIREMENT PAYMENT	161,350.79
						Total : 161,350.79
1 Vouchers for bank code : ubgen						Bank total : 161,350.79
1 Vouchers in this report						Total vouchers : 161,350.79

Prepared by: 
Date: 3-25-26
Approved by: 
Date: 3-25-26

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
141996	3/25/2026	11139 ACE UNIFORMS, LLC - SAN DIEGO	SD0259525	55332	WEARING APPAREL	130.35
			SD0259527	55332	WEARING APPAREL	122.82
			SD0259724	55332	WEARING APPAREL	81.87
			SD0259725	55332	WEARING APPAREL	116.90
					Total :	451.94
141997	3/25/2026	11139 ACE UNIFORMS AND ACCESSORIES	SD0259727	55332	WEARING APPAREL	51.72
					Total :	51.72
141998	3/25/2026	10510 AMAZON WEB SERVICES, INC	2525107001		AMAZON CLOUD SERVICES	108.30
					Total :	108.30
141999	3/25/2026	11445 AMERICAN MESSAGING	L1072898AC		FD PAGER SERVICE	229.89
					Total :	229.89
142000	3/25/2026	15380 ANDERSON, MARK	2601		INSTRUCTOR PAYMENT	120.00
					Total :	120.00
142001	3/25/2026	10412 AT&T	000024840954; FEB26		TELEPHONE	605.78
					Total :	605.78
142002	3/25/2026	15924 BARNHART-REESE CONSTRUCTION	1	55596	SANTEE COMMUNITY CENTER PRO	646,528.00
			CIP71831, PP1 RET		RETENTION FOR PROGRESS PAYM	-32,326.40
					Total :	614,201.60
142003	3/25/2026	10020 BEST BEST & KRIEGER LLP	LEGAL FEB 2026		LEGAL SVCS FEB 2026	50,827.20
					Total :	50,827.20
142004	3/25/2026	11134 CARRICO, TAYLOR	2635		EMPLOYEE REIMBURSEMENT FOR	171.00
					Total :	171.00
142005	3/25/2026	10032 CINTAS CORPORATION 694	4261263751	55335	MISC SHOP RENTALS	37.13
			4261454521	55335	MISC SHOP RENTALS	40.72
					Total :	77.85
142006	3/25/2026	12153 CORODATA RECORDS	RS7153852	55479	CORODATA RECORDS MANAGMEN	790.16

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
142006	3/25/2026	12153 12153 CORODATA RECORDS	(Continued)			Total : 790.16
142007	3/25/2026	11862 CORODATA SHREDDING INC	DN1566721		CORODATA SHREDDING SERVICES	55.20
						Total : 55.20
142008	3/25/2026	10358 COUNTY OF SAN DIEGO	26CTOFSAN08 26CTOFSASN08	55425 55441	SHERIFF RADIOS 800 MHZ NETWORK ACCESS	2,806.00 2,422.57
						Total : 5,228.57
142009	3/25/2026	10486 COUNTY OF SAN DIEGO	202600205		RECORDED DOCUMENTS - QUIT C	70.00
						Total : 70.00
142010	3/25/2026	10333 COX COMMUNICATIONS	052335901; MAR26 064114701; MAR26		8950 COTTONWOOD AVE 8115 ARLETTE ST	197.74 194.66
						Total : 392.40
142011	3/25/2026	12655 DELL MARKETING LP	10862108483	55489	MONTHLY WEBSITE HOSTING FEE	522.76
						Total : 522.76
142012	3/25/2026	12438 DIESEL PRINT CO LLC	3896	55271	VETERAN BANNERS - CYCLE MAR	1,206.59
						Total : 1,206.59
142013	3/25/2026	11017 DIVISION OF THE STATE	AB1379 OCT-DEC 2025		AB1379 OCT-DEC 2025	298.00
						Total : 298.00
142014	3/25/2026	12970 DUDEK	202602073	55444	SD RIVER FIRE HAZ MIT PLAN	37,199.25
						Total : 37,199.25
142015	3/25/2026	14926 EAGLES POINT SECURITY INC	31923	55419	SPECIAL EVENT SECURITY	450.00
						Total : 450.00
142016	3/25/2026	12593 ELLISON WILSON ADVOCACY, LLC	2026-03-06	55418	LEGISLATIVE ADVOCACY SERVICE	1,500.00
						Total : 1,500.00
142017	3/25/2026	15981 FIRETRUCKS UNLIMITED LLC	33255	55625	REFURBISHMENT OF UNIT #V138	392,940.44
						Total : 392,940.44
142018	3/25/2026	15446 FOCUS PSYCHOLOGICAL SERVICE	INV105849	55616	PSYCHOLOGICAL SERVICES	900.00

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
142018	3/25/2026	15446 FOCUS PSYCHOLOGICAL SERVICE	(Continued)			
			INV106236	55616	PSYCHOLOGICAL SERVICES	900.00
			INV106801	55616	PSYCHOLOGICAL SERVICES	900.00
			INV107100	55616	PSYCHOLOGICAL SERVICES	900.00
			INV107709	55616	PSYCHOLOGICAL SERVICES	900.00
			INV108164	55616	PSYCHOLOGICAL SERVICES	900.00
			INV108443	55616	PSYCHOLOGICAL SERVICES	900.00
			INV108808	55616	PSYCHOLOGICAL SERVICES	900.00
					Total :	7,200.00
142019	3/25/2026	12638 GEORGE HILLS COMPANY INC	INV1034113	55466	ADMIN-LIABILITY CLAIMS	1,541.66
					Total :	1,541.66
142020	3/25/2026	10490 HARRIS & ASSOCIATES INC	71391	55560	HA-10 PROFESSIONAL SUPPORT F	1,800.00
					Total :	1,800.00
142021	3/25/2026	14833 INTERWEST CONSULTING GROUP	3203790	55471	FY 25/26 BUILDING EXPERT CONSI	8,312.50
			3353775	55471	FY 25/26 BUILDING EXPERT CONSI	9,990.29
					Total :	18,302.79
142022	3/25/2026	10207 LOCKHART TRAINING	2648		INSTRUCTOR PAYMENT	410.80
					Total :	410.80
142023	3/25/2026	15944 LY, ASHLEY	303196		LIVESCAN	35.00
					Total :	35.00
142024	3/25/2026	10085 NATIONAL SAFETY COMPLIANCE INC	104055		DRUG/ALCOHOL TESTING	209.83
					Total :	209.83
142025	3/25/2026	10336 PADRE DAM MUNICIPAL WATER DIST	03102026		FIRE FLOW TEST FEE - FIRE STATI	150.00
					Total :	150.00
142026	3/25/2026	11539 PALM ENGINEERING CONSTRUCTION	6-2026	55127	CUYAMACA STREET RIGHT TURN F	80,832.38
			CIP2024-02, 06 R		RETENTION	-4,041.62
					Total :	76,790.76
142027	3/25/2026	14614 PARADIGM MECHANICAL CORP	114852	55387	FY25/26 HVAC MAINT & REPAIRS	171.15

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
142027	3/25/2026	14614	14614 PARADIGM MECHANICAL CORP	(Continued)		Total : 171.15
142028	3/25/2026	10092 PHOENIX GROUP INFO SYSTEMS	102025031	55346	FY 25/26 PARKING CITE PROCESS	623.66
			112025031	55346	FY 25/26 PARKING CITE PROCESS	653.03
					Total :	1,276.69
142029	3/25/2026	12062 PURETEC INDUSTRIAL WATER	2391237	55528	DEIONIZED WATER SERVICE	34.40
			2391238	55528	DEIONIZED WATER SERVICE	51.22
			2391239	55528	DEIONIZED WATER SERVICE	17.20
					Total :	102.82
142030	3/25/2026	13592 QUADIENT LEASING USA, INC	Q2247645	55366	QUADIENT MAIL MACHINE LEASE	1,267.42
					Total :	1,267.42
142031	3/25/2026	10095 RASA	5926	55434	MAP CHECK - BUENA VISTA PARCE	350.00
					Total :	350.00
142032	3/25/2026	13061 SAN DIEGO HUMANE SOCIETY &	MAR-26	55408	ANIMAL CONTROL SERVICES	39,881.00
					Total :	39,881.00
142033	3/25/2026	10837 SOUTHWEST TRAFFIC SIGNAL	84884	55437	STREETLIGHT MAINTENANCE - MA	1,353.88
			84885	55437	STREETLIGHT MAINTENANCE - MI	535.09
			84886	55437	STREETLIGHT MAINTENANCE - SE	256.85
			84887	55437	STREETLIGHT MAINTENANCE - SE	304.51
			84888	55437	STREETLIGHT MAINTENANCE - SE	171.23
			84889	55437	STREETLIGHT MAINTENANCE - SE	342.46
			84890	55437	STREETLIGHT MAINTENANCE - SE	85.62
			84892	55484	TRAFFIC SIGNAL - MARKOUTS	653.94
			84893	55484	TRAFFIC SIGNAL - SERVICE CALLS	3,439.82
					Total :	7,143.40
142034	3/25/2026	11910 SPECTRUM GAS PRODUCTS	0000680667	55577	OXYGEN CYLINDER REFILLS	340.50
			0000890432	55577	OXYGEN CYLINDER RENTAL	171.00
			0000890433	55577	OXYGEN CYLINDER RENTAL	66.50
					Total :	578.00
142035	3/25/2026	14240 SPICER CONSULTING GROUP	2178	55161	ASSMNT ENG & CFD SVCS FY 24-2	2,818.83

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
142035	3/25/2026	14240	14240 SPICER CONSULTING GROUP	(Continued)		Total : 2,818.83
142036	3/25/2026	10217	STAPLES ADVANTAGE	6056154491	55350	OFFICE SUPPLIES - P&B, E 111.33
				6057076023	55350	OFFICE SUPPLIES - P&B, E 44.21
				6057703358	55350	OFFICE SUPPLIES - P&B, E 21.94
						Total : 177.48
142037	3/25/2026	10572	SUNBELT RENTALS INC	180543415-0001	55328	EQUIPMENT RENTAL 1,101.24
						Total : 1,101.24
142038	3/25/2026	15776	TEAMCIVX LLC	4406	55513	FUNDING FEASIBILITY ASSESSMEI 7,920.21
						Total : 7,920.21
142039	3/25/2026	10250	THE EAST COUNTY	00161085		NOTICE OF PUBLICATION FOR PUE 192.50
						Total : 192.50
142040	3/25/2026	11287	THE KNOX COMPANY	INV-KA-497456	55599	WILDLAND GATE LOCKS 1,881.32
						Total : 1,881.32
142041	3/25/2026	14354	TRILOGY MEDWASTE WEST, LLC	1932569	55394	BIOMEDICAL WASTE DISPOSAL 186.69
				1932570	55394	BIOMEDICAL WASTE DISPOSAL 186.69
						Total : 373.38
142042	3/25/2026	10133	UNDERGROUND SERVICE ALERT	220260713	55439	DIG ALERT - MONTHLY TICKETS 248.65
				25-263019	55439	DIG ALERT - STATE FEES 59.83
						Total : 308.48
142043	3/25/2026	12276	VARGAS, CROSSBY	502		SPECIAL EVENT ENTERTAINMENT 400.00
						Total : 400.00
48 Vouchers for bank code : ubgen						Bank total : 1,279,883.41
48 Vouchers in this report						Total vouchers : 1,279,883.41

Bank code : ubgen

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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Prepared by: Justin

Date: 3.25.26

Approved by: [Signature]

Date: 3/25/26

MEETING DATE April 8, 2026

ITEM TITLE ADOPTION OF THE RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA AWARDDING THE ON-CALL PROFESSIONAL SERVICE AGREEMENT TO BARNETT QUALITY CONTROL SERVICES INC. DBA NOVA SERVICES, INC. FOR AS NEEDED ON-CALL SPECIAL INSPECTION, AND GEOTECHNICAL SERVICES AND AUTHORIZE THE DIRECTOR OF ENGINEERING TO AWARD TASK ORDERS

DIRECTOR/DEPARTMENT Carl Schmitz, Engineering *SM FOR*

SUMMARY

On February 5, 2026, the City of Santee (City) issued a Request for Proposal (RFP) No.25/26-40045 seeking qualified special inspection and geotechnical consultants to provide special inspection, testing and geotechnical services needed on an on-call basis to support the City's Capital Improvement Program and for developer or utility encroachment permit projects. The scope includes special inspection, geotechnical engineering, geotechnical testing, closed circuit television (CCTV) inspection and reporting, utility location, leak detection and deputy City inspector services. Special inspection, testing and geotechnical services cannot be performed by City staff and are required by the California Building Code, Caltrans Standards, Standard Specification for Public Work Construction to ensure public work projects are constructed with specialized inspection and third-party services. The deputy inspector services provide the ability to ensure inspections can be completed during vacations, staffing vacancies, night-time hours or when inspection workload exceeds the ability to complete with the Department of Engineering's two full-time inspectors.

All services in this professional services agreement are currently required for the Santee Community Center, Interim Fire Station 20, Interim Fire Station 24, future fire station projects, the vector decanting station at City Operations Center, Citywide Pavement Repair and Rehabilitation, Citywide Roadway Maintenance and other related projects included in the adopted FY2026-2030 Capital Improvement Program and anticipated for future City projects. The professional services agreement would have an initial term of 2 years with the option to extend for a total term of 8 years.

The City received nine proposals from the following firms: BW Testing and Inspection, Certerra Inc., Geocon Inc., Barnett Quality Control Services Inc. dba Nova Services, Inc., Twining Inc., MTGL Inc., Ninyo and Moore, Inc., NV5 Inc. and UES Inc. Upon review by the selection committee comprised of Engineering Department staff members, staff rated and ranked the proposal submitted by Nova Services as the highest ranked proposal in response to the City's request for proposals. Staff recommends entering into a professional services agreement (PSA) with Nova Services, Inc for the on-call Special Inspection and Geotechnical Services contract. The PSA does not guarantee work to the selected consultant, however, work would be added to the contract as required when the applicable projects enter into the design or construction phases.

Each task order will include a detailed scope of work, deliverables, schedule, and not-to-exceed cost based on the firm's rate schedule submitted in their proposal. Task orders allow the City to manage work on a project-specific basis while maintaining administrative efficiency. The use

of task orders also ensures transparency and control over budget and performance expectations for each assignment. Fees will follow the firm rate schedule and include an automatic increase annually following the consumer price index or have field rates which require the payment of prevailing wages be adjusted as those wages increases are increased by the Department of Industrial Relations. This provides cost control while still ensuring wages paid follow prevailing wage requirements in accordance with State law.

Upon approval, the City Manager will be authorized to execute the agreement on behalf of the City. The City Attorney may make minor modifications as needed to correct technical issues, ensure legal compliance, and incorporate negotiated changes approved by the City Manager. The Director of Engineering/City Engineer would be authorized to issue task orders for specific Capital Improvement Program projects, developer projects or utility encroachment permit projects to ensure compliance with project plans, specifications, permits, and the California Building Code Requirements.

ENVIRONMENTAL REVIEW

The As Needed On-Call Special Inspection and Geotechnical Services is not a “project” as defined by the California Environmental Quality Act (“CEQA”) because it involves special inspection and testing and other related professional services which does not have the potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment (State CEQA Guidelines § 15378.). Any necessary compliance with CEQA for individual projects would be required prior to construction.

FINANCIAL STATEMENT

This contract will be used for a variety of different types of projects, as a result, funding for the As-Needed On-Call Special Inspection and Geotechnical Services is included in several places, including the adopted Capital Improvement Program Budget, the Department of Engineering or Planning & Building operating budgets, reimbursed by Developer projects or reimbursed by utility encroachment permit projects with a total amount not to exceed \$400,000 each fiscal year.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION

Adopt the Resolution:

1. Awarding the professional service agreement to Barnett Quality Control Services Inc. dba Nova Services, Inc. for the On-Call Special Inspection and Geotechnical Services; and
2. Authorizing the City Manager to execute the professional services agreement and all necessary documents on behalf of the City; and
3. Authorizing the Director of Engineering/City Engineer to issue task orders and task order amendments for Consultant’s services when needed for the completion and compliance of various public works projects in an amount not to exceed \$400,000 per fiscal year; and
4. Funding for all task orders under the professional services agreement will be provided by the adopted Capital Improvement Program Budget, the Department of Engineering or Planning & Building operating budgets, or reimbursed by either Developer funding or utility companies seeking utility encroachment permit projects with a total amount not to exceed \$400,000 each fiscal year.

ATTACHMENT

Resolution
As-Needed Professional Services Agreement

RESOLUTION NO. _____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA
AWARDING THE ON-CALL PROFESSIONAL SERVICE AGREEMENT TO BARNETT
QUALITY CONTROL SERVICES INC. DBA NOVA SERVICES, INC. FOR AS
NEEDED ON-CALL SPECIAL INSPECTION, AND GEOTECHNICAL SERVICES AND
AUTHORIZE THE DIRECTOR OF ENGINEERING/CITY ENGINEER TO AWARD
TASK ORDERS**

WHEREAS, on February 5, 2026, the City issued a Request for Proposals (RFP No. 25/26-40045) seeking qualified special inspection and geotechnical consultants to provide on-call services for Special Inspection and Geotechnical Services; and

WHEREAS, in response to the solicitation, the City received proposals from nine special inspection and geotechnical services consulting firms; and

WHEREAS, the City determined the proposal submitted by Barnett Quality Control Services dba NOVA Services, Inc. was highest ranked proposal demonstrating the qualifications and experience to perform the services outlined in the scope of work that was included in the RFP; and

WHEREAS, the City recommends entering into an As-Needed Professional Services Agreement (PSA) with Barnett Quality Control Services dba NOVA Services, Inc. to provide the on-call services for the on-call Special Inspection and Geotechnical Services; and

WHEREAS, the PSA does not guarantee work to the selected consultant. Individual tasks and projects will be identified, defined and authorized through task orders issued by the City and each task order will include a detailed scope of work, deliverables, timeline and maximum project cost; and

WHEREAS, upon award, the City Manager will be authorized to execute the agreement on behalf of the City. The City Attorney may make minor modifications as needed to correct technical issues, ensure legal compliance, and incorporate negotiated changes approved by the City Manager; and

WHEREAS, the Director of Engineering/City Engineer would be authorized to execute task orders and task order amendments as necessary for applicable Capital Improvement Program projects, Developer projects and Utility encroachment permit projects to ensure third-party special inspection, testing and geotechnical testing is performed for quality control on City owned parcels, easements, and rights-of-way as it is related to the design and construction; and

WHEREAS, The Director of Engineering/City Engineer is authorized to approve task orders and task order amendments in an amount not to exceed \$400,000 per fiscal year; and

WHEREAS, funding for all task order and amendments will be included in the adopted Capital Improvement Program Budget, the Department of Engineering or Planning & Building operating budgets or reimbursed by Developer projects or utility encroachment permits; and

RESOLUTION NO. _____

WHEREAS, this action to award on-call professional services agreements is exempt from the California Environmental Quality Act (CEQA) as it's considered special inspection and testing and other related professional services which does not have the potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment in accordance with CEQA Guidelines Section 15378. Any necessary compliance with CEQA for individual projects would be required prior to construction authorization.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Santee, California, as follows:

SECTION 1: The as-needed professional services agreement for Special Inspection and Geotechnical Services is awarded to Barnett Quality Control Services, Inc. dba NOVA Services, Inc. in an amount not to exceed \$400,000 per fiscal year; and

SECTION 2: The City Manager is authorized to execute all necessary documents to execute the agreement on behalf of the City; and

SECTION 3: The Director of Engineering/City Engineer is authorized to approve task orders and task order amendments in an amount not to exceed \$400,000 per fiscal year; and

SECTION 4: Funding for all task orders and amendments will be included in the adopted Capital Improvement Program Budget, the Department of Engineering or Planning & Building operating budgets, reimbursed by Developer projects, and reimbursed by utility encroachment permit projects.

SECTION 5: This Resolution shall take effect immediately upon its passage.

ADOPTED by the City Council of the City of Santee, California, at a Regular meeting thereof held this 8th day of April, 2026, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK

**AGREEMENT FOR AS-NEEDED PROFESSIONAL SERVICES BETWEEN THE
CITY OF SANTEE AND BARNETT QUALITY CONTROL SERVICES, INC.
DBA NOVA SERVICES, INC.**

This Agreement for As-Needed Professional Services (Agreement), effective April 20, 2026, is between the **City of Santee**, a California charter city (City), and **Barnett Quality Control Services, Inc. dba NOVA Services, Inc.**, a California S-Corporation with its principle place of business at 4373 Viewridge Avenue, Suite B, San Diego, CA 92123 (Consultant), each of which may be referred to individually as “Party” and collectively as the “Parties”.

BACKGROUND

1. The City issued Request for Proposals No. 25/26-40045 (RFP) seeking qualified professionals to provide special inspection, testing, and geotechnical engineering services as and when required to ensure that certain public works projects are constructed in compliance with applicable California Building Code, Caltrans, and specification standards.
2. Consultant submitted a proposal to provide the services needed and has been selected to do so based on the demonstrated competence and qualifications for the types of services to be performed at a fair and reasonable rate.
3. Consultant represents that its employees are duly licensed and have the necessary qualifications to perform such services in California.
4. This Agreement establishes the terms by which the City and the Consultant will select, agree upon, and provide services for projects governed by this Agreement when and as-needed by the City.

AGREEMENT

1. Services

Consultant has been retained to provide various services, including project management services, special inspection and testing services, geotechnical engineering and testing services, underground utility location services, CCTV inspection services, and deputy inspector services on a project-by-project basis as needed by the City as more fully described in the Scope of Work attached as **Exhibit A** and made a part of this agreement as if fully set forth (Services).

1.1 Task Orders. When and as the City requires Consultant’s services, the City will prepare a Task Order identifying the specific services required, any deadlines, milestones, or project time limits, the maximum project budget, and any additional contract terms and conditions applicable to the project. All Task Orders will be in writing and signed by both Parties and subject to the terms of this Agreement.

1.2 Consultant’s Representative. Consultant agrees to assign Andrew Neuhaus as its Project Manager with the power and authority to act on Consultant’s behalf. Consultant agrees that

it will not remove or reassign its Representative from the performance of services under this Agreement without the City's prior written consent. Consultant will make every reasonable effort to maintain the stability and continuity of Consultant's staff assigned to perform the services under this Agreement.

1.3 Document Format and Accessibility Requirements. All final documents Consultant provides to the City under this Agreement (Deliverables) must comply with the requirements of the Web Content Accessibility Guidelines (WCAG) 2.1, pursuant to the Americans with Disabilities Act ("ADA"). Consultant bears the burden to provide Deliverables, such as Adobe Acrobat Portable Document Format (PDF) and Microsoft Office files, complying with WCAG 2.1. Consultant shall defend and indemnify the City against any breach of this provision. This provision shall survive the termination of this Agreement.

1.4 Standard of Care. Consultant's services will be performed in accordance with generally accepted professional practices and in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing under similar conditions.

1.5 Licenses and Qualifications. Consultant holds all necessary licenses and qualifications required to provide these services in the State of California and will keep all required licenses current throughout the Term of this Agreement, including a City business license.

1.6 Time of Performance. Consultant will perform these services in a prompt and timely manner and in accordance with all agreed upon deadlines, activity schedules, and milestones as may be further defined in the Scope of Services.

1.7 Permits. If applicable, Consultant will assist the City obtain and maintain any and all permits required by federal, state and local regulatory agencies related to Consultant's services.

2. **Term and Renewal**

2.1 As-Needed Professional Services Agreement. This Agreement will be effective as of April 20, 2026 and will remain in effect for a period of two years. This term may be extended up to three additional two year terms for a total period not to exceed 8 years at the sole discretion of the City. Any projects initiated during the term of this Agreement will continue under its terms through project completion.

2.2 Task Orders. Any Task Order agreed to and signed but not completed during the Term of this Agreement will continue until complete even if this Agreement expires or is terminated. The Task Order agreement will continue in accordance with its terms as if this Agreement were still in force.

3. **Compensation**

The City will pay Consultant for the services performed at the rates and on the additional terms set forth in attached **Exhibit B**, which is made apart of this Agreement as if fully set forth, subject to the following:

3.1 Fees and Fee Rates. These fees will remain in force throughout the term and any extension or renewal of this Agreement unless otherwise agreed.

3.2 Maximum Annual Amount. In no event shall the total amount paid for services rendered by Consultant exceed the sum of Four Hundred Thousand Dollars (\$400,000) per year. This Agreement is subject to and contingent on budgetary appropriations approved by the City Council each fiscal year during the Term of this Agreement. If appropriations are not approved, the Agreement will be immediately terminated without penalty to the City.

3.3 Maximum Project Fee. Within seven days of receipt of a Task Order, Consultant will provide a project fee schedule to the City based on the fees and rates established by Exhibit B. Upon agreement signed by both Parties, each Task Order will establish its own maximum annual not-to-exceed amount (Project NTE amount) subject to the fee rates in effect at the time of execution, unless otherwise agreed to in writing signed by all Parties. Subject to appropriation, on the first July 1 after this Agreement has been in place for six calendar months, and each July 1 thereafter during the Term of this Agreement, the NTE amount will renew (as stated Section 2) and increase by a percentage equal to the percentage increase, if any, in the Consumer Price Index for All Urban Wage Earners and Clerical Workers measured from January to January as published by the U.S. Department of Labor, Bureau of Labor Statistics (CPI Rate). Actual fees earned and thus payable for any Project during any fiscal year may be less than the NTE amount. The City is not obligated to spend the full NTE amount in any fiscal year.

3.4 Budget Contingency. This Agreement and all Task Orders are contingent upon annual appropriations approved by the City Council each fiscal year during the Term of this Agreement. No Task Order will be signed unless funds sufficient to pay the first fiscal year's Project NTE amount have been appropriated. If appropriations are not approved for any subsequent fiscal year, regardless of the Term defined in Section 2 above, the Task Order will terminate on the next June 30 without penalty to the City. Services performed in excess of the amount appropriated will not be paid and are therefore performed at Consultant's sole risk.

3.5 Rate Adjustments. On the first July 1 after this Agreement has been in place for six calendar months, and each July 1 thereafter during the Term of this Agreement, the rates set forth in Exhibit B will increase by a percentage equal to the percentage increase, if any, in the CPI Rate. Any rates as set forth in Exhibit B requiring the payment of prevailing wages will increase by a percentage equal to the rate increase as required by the State of California Department of Industrial Relations, for the applicable prevailing wage rate determination required at the time each task order is approved by the City and Consultant.

3.6 Monthly Invoice: Consultant agrees to send the City an invoice for payment that itemizes all work performed and expenses incurred during the applicable billing period based on the rate set forth in Exhibit B, or as adjusted. Each Project must be invoiced separately. Monthly invoices must be received no later than the tenth day of each new month. Payment of invoices not received by the tenth day of the month may be delayed until the following month without penalty to the City. Invoices should be sent to Steven Miller, Principal Civil Engineer at smiller@cityofsanteeca.gov with confirmation requested by the Consultant to ensure that submitted invoice have been received by the City.

3.7 Payment. All timely and approved invoices will be put in line for payment and the City will use its best effort to issue payment within 30 days of receipt. Consultant will be notified if any fees or charges are in question, in which case the invoice will be returned for correction and resubmission.

4. Independent Contractor

Consultant is retained and at all times will remain an independent contractor. Neither Consultant nor its employees are to be considered agents or employees of the City. Consultant has no authority, express or implied, to act on behalf of the City as an agent or in any other capacity and has no authority, express or implied, to bind the City to any obligation.

5. Indemnification

5.1 To the fullest extent permitted by law, Consultant shall defend (with counsel of City's choosing), indemnify and hold the City, its officials, officers, employees, volunteers, and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, in any manner arising out of, pertaining to, or incident to any acts, errors or omissions, or willful misconduct of Consultant, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Consultant's services, the Project or this Agreement, including without limitation the payment of all damages, expert witness fees and attorney's fees and other related costs and expenses. Consultant's obligations apply regardless of whether or not a liability is caused or contributed to by the negligence (including passive negligence) or other act or omission of an Indemnified Party. The acceptance or approval of the Consultant's work by an Indemnified Party shall not relieve or reduce the Consultant's indemnification obligation. Consultant shall pay and satisfy any judgment, award or decree that may be rendered against the City, its officials, officers, agents, employees or representatives. The provisions of this section shall survive completion of the work under or termination of this Agreement. Consultant's obligation to indemnify shall not be restricted to insurance proceeds, if any, received by Consultant, the City, its officials, officers, employees, agents, or volunteers.

5.2 If Consultant's obligation to defend, indemnify, and/or hold harmless arises out of Consultant's performance of "design professional" services (as that term is defined under Civil Code section 2782.8), then, and only to the extent required by Civil Code section 2782.8, which is fully incorporated herein, Consultant's indemnification obligation shall be limited to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Consultant, and, upon Consultant obtaining a final adjudication by a court of competent jurisdiction, Consultant's liability for such claim, including the cost to defend, shall not exceed the Consultant's proportionate percentage of fault.

6. Insurance

At its own expense, Consultant must obtain and maintain insurance sufficient to meet the following standards. Consultant may not commence work under this Agreement until it has provided evidence satisfactory to the City to establish that it has done so. The City tracks all insurance certificates through Pacific Insurance Network Systems, Inc. (PINS) Advantage. A link to this

program will be sent to the Consultant so that the requisite information can be uploaded and updated directly. If the link is not available prior to commencement of work, Consultant must notify and provide the information to the City representative facilitating the award and performance of this Agreement:

6.1 Minimum Coverages:

6.1.1 General Commercial Liability. The City requires all contracting parties to carry general commercial liability insurance coverage. Coverage must begin prior to the award of this contract and the policy must be in effect for the duration of the work conducted under this Agreement. Coverage must be on an occurrence basis (Occurrence Form CG 0001) that includes coverages for (1) Bodily Injury (including death) and Property Damage; (2) Personal Injury/Advertising Injury; (3) Premises and Operations Liability; (4) Products/Completed Operations Liability; (5) Aggregate Limits that Apply per Project; (6) Explosion, Collapse and Underground (UCX); (7) Contractual Liability with respect to this Agreement; (8) Broad Form Property Damage; and (9) Independent Consultants Coverage.

6.1.2 Automobile Liability. The City's standard insurance specifications require all contracting parties to obtain automobile liability insurance coverage for "any auto" that is at least as broad as Insurance Services Office Form Number CA 0001 (ed. 6/92) covering automobile liability, Code 1 (any auto) for bodily injury (including death) and property damage including coverage for owned, non-owned and hired vehicles.

6.1.3 Workers' Compensation/Employer's Liability. The City requires contracting parties to obtain and workers' compensation / employer's liability insurance coverage for all persons employed directly by Consultant and to provide a Waiver of Subrogation in favor of the City. Consultant must also require and confirm that any subcontractors obtain and maintain workers' compensation coverage sufficient to meet these same standards. Due to market fluctuations in the workers compensation sector, the City reserves the right, at its sole discretion, to review and accept the Consultant's proposed workers' compensation insurance provider.

6.1.4 Professional Liability (Errors and Omissions). The City requires professional service providers to obtain professional liability insurance written on a claims made basis that remains in place for 60 months following the date of project completion and acceptance of the work by the City.

6.1.5 Pollution/Asbestos Legal Liability. Where a contract involves environmental hazards, including pollution exposure, such as environmental remediation, asbestos abatement, or materials recovery or recycling or road construction that may contaminate waterways, the City requires pollution liability coverage written on a claims made basis that remains in place for 60 months following the date of project completion and acceptance of the work by the City. In addition, the City requires that such contractors and all employees and representatives who have a reasonable probability of coming into contact with hazardous materials be adequately trained to comply with, and must comply with, all laws and regulations relating to the care and protection of individuals and the environment in the performance of the work.

6.1.6 Cyber Liability. When a contracting party provides products and/or services related to information technology and electronic data processing or access (including hardware and software), or has access to or provides services relating to City electronic data, the City requires cyber liability coverage that includes security and privacy liability, media liability, business interruption and extra expense, and cyber extortion liability written on a claims made basis that remains in place for 60 months following the date of project completion and acceptance of the work by the City.

6.2 Minimum Policy Limits: When applicable, the following minimum policy limits apply. If Consultant maintains higher limits than these minimums, the City requires and will be entitled to coverage at the higher limits. Any insurance coverage or proceeds available in excess of these specified minimum limits shall be available to the City.

	Combined Single Limit
Commercial General Liability	\$2,000,000 per occurrence/\$4,000,000 aggregate for bodily injury (including death), personal injury and property damage
Automobile Liability	\$1,000,000 per occurrence for bodily injury (including death) and property damage
Employer's Liability	\$1,000,000 per accident for bodily injury or disease
Professional Liability / ELL	\$2,000,000 per claim and \$2,000,000 aggregate (errors and omissions)
Pollution/Asbestos Liability	\$1,000,000 per occurrence or claim/\$2,000,000 aggregate (if Task Orders involves environmental hazards)
Cyber Liability Insurance	\$1,000,000 per occurrence/\$2,000,000 aggregate (if Project involves electronic data processing or development of hardware or software)

6.3 Evidence Required. Prior to commencement of work under this Agreement, Consultant must provide the City evidence of insurance from an insurer or insurers certifying to the coverage of all required insurance. Such evidence may include original copies of the ISO CG 2010 (or insurer's equivalent) signed by the insurer's representative, Certificate of Insurance (most recent version of Acord 25 Form or equivalent), and Additional Insured Endorsement verifying compliance with the requirements. All evidence of insurance shall be signed by a properly authorized representative of the insurer and shall certify the names of the insured, any additional primary insureds, the type and amount of the insurance, the location and operations to which the insurance applies, and the expiration date of such insurance.

6.4 Required Policy Provisions:

6.4.1 Additional Insured Endorsement: The Commercial General Liability policy and, if required, the Pollution/Asbestos Liability policy must name the City of Santee, its Mayor, City Council and each of its members, officers, employees, and agents as additional insureds using form CG 2010 1185 or both CG 2010 1001 and CG 2037 1001. Any subcontractor or similar entity performing work under this Agreement must also add the City as an additional insured using CG form 2038, or broader coverage. Blanket endorsements may be accepted at City's discretion.

6.4.2 Advanced Written Notice: All policies must contain or be endorsed to contain a requirement that at least 30 days' advanced written notice of any cancellation, including cancellation for non-payment of premium, shall be provided to the City. Statements that the carrier "will endeavor" and "that failure to mail such notice shall impose no obligation and liability upon the company, its agents or representatives," will not be acceptable on endorsements. At the City's sole discretion, the requirement to endorse policies to provide advanced written notice of cancellation to the City may be waived upon the contracting party's agreement that it will provide the City with copies of any notices of cancellation immediately upon receipt.

6.4.3 Confirmation as Primary Insurance: Commercial General Liability, Automobile Liability and, if required, Pollution Liability Insurance policies must acknowledge that the Consultant's policies provide the primary insurance applicable to coverage of the acts and services under this Agreement and that neither the City's insurance nor insurance maintained by a named additional insured will be called upon to contribute to any loss.

6.4.4 Qualified Insurers: All required policies must be issued by insurance companies that are acceptable to the City and that: (a) are qualified to do business in California; (b) maintain an agent for process within California; and (c) have not less than an 'A' policyholder's rating and a financial rating of not less than "Class VII" according to the latest Best Key Rating Guide;

6.5 Additional Insurance Provisions:

6.5.1 Requirements as to the types and limits of insurance coverage are not intended and do not limit or qualify the liabilities and obligations otherwise assumed by Consultant pursuant to this Agreement, including but not limited to, the provisions concerning indemnification.

6.5.2 If Consultant fails to maintain the insurance required by this Agreement for any reason, the City may immediately terminate the Agreement or may elect to withhold compensation in an amount sufficient to purchase insurance to replace any expired or insufficient coverage.

6.5.3 Consultant must include all subcontractors as insureds under its policies or furnish separate certificates and endorsements for each subcontractor. All subcontractors are subject to all of the insurance requirements stated herein.

6.5.4 If requested, Consultant must provide the City with complete copies of all insurance policies in effect for the duration of the Agreement.

6.5.5 Neither the Mayor, the City Council, nor any of its members, nor any director, officer, employee, agent, or volunteer will be personally responsible for any liability arising under or by virtue of this Agreement.

7. **Notice**

Any notice related to or required to be given by this Agreement may be delivered by any lawful means, including by hand-delivery or certified mail, return receipt requested, postage prepaid, and addressed as shown below. Notice shall be effective upon receipt.

CITY: Attn: Carl Schmitz, P.E. City Engineer/Director of Engineering City of Santee 10601 Magnolia Avenue Santee, CA 92071-1222	CONSULTANT: Attn: Danny J. Barnett President/CFO NOVA Services, Inc. 4373 Viewridge Avenue, Suite B San Diego, CA 92123
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8. Termination

8.1 By City. City has the right to terminate any or all of Task Orders issued under this Agreement for any reason by giving ten (10) calendar days written notice to Consultant.

8.2 By Consultant. In the event of substantial failure by City to perform in accordance with the terms of this Agreement or a specific Task Order through no fault of Consultant, Consultant may terminate its obligation to provide further services under this Agreement upon thirty (30) calendar days' written notice to City.

8.3 Effect of Termination. Upon termination by either Party, the City shall be immediately given title and possession to all original field notes, drawings and specifications, written reports and other documents produced or developed for that portion of the work completed and/or being abandoned. If termination occurs prior to completion of any task that has not yet been invoiced, and the Parties agree to complete the task, the charge for services will be consistent with the terms of this Agreement. City will pay invoices for all work performed as of the effective date of termination even if a task is incomplete. City will not be liable for any additional fees or costs. Consultant will not be entitled to payment for unperformed services, and will not be entitled to damages or compensation for termination of work.

9. Standard Terms and Conditions

9.1 City Business License. Consultant agrees to comply with Santee Municipal Code section 4.02.010, which requires all who contract the City to obtain and maintain a City business license throughout the Term of the Agreement.

9.2 No Conflict of Interest. Consultant affirms that it does not currently have, and will not acquire during the Term of this Agreement, any direct or indirect interest, that could conflict in any manner with its ability to properly perform its obligations under this Agreement.

9.3 Maintenance of Records. Books, documents, papers, accounting records, and other evidence pertaining to work done and costs incurred pursuant to this Agreement shall be maintained by Consultant and made available for inspection, audit and copying by the Santee at all reasonable times during the Term of this Agreement and for four (4) years from the date of final payment under the Agreement.

9.4 Ownership and Use of Work. All documents and materials prepared pursuant to this Agreement will be considered the property of the City, and must be turned over to the City upon demand, but in any event upon completion of the work. The City reserves the right to publish, disclose, distribute and otherwise use, in whole or in part, any reports, data or other documents and materials prepared under this Agreement without additional permission. “Documents and materials” include without limitation any original maps, models, designs, drawings, photographs, studies, surveys, reports, data, notes, and computer files prepared or developed pursuant to this Agreement regardless of format.

9.5 Findings Confidential. Any reports, information, data or materials given to or prepared or assembled by Consultant under this Agreement that the City requests to be treated as confidential shall not be made available to any individual or organization by Consultant without the City’s prior written approval.

9.6 Delays in Performance. Neither the City nor Consultant will be considered in default of this Agreement for delays in performance caused by circumstances beyond the reasonable control of the non-performing party, such as, without limitation, abnormal weather conditions; floods; earthquakes; fire; epidemics; pandemics; war; riots and other civil disturbances; strikes, lockouts, work slowdowns, and other labor disturbances; sabotage or judicial restraint. If such circumstances occur, the non-performing party must provide written notice to the other within a reasonable time describing the circumstances preventing continued or timely performance and the efforts being made to resume performance of this Agreement.

9.7 Entire Agreement. This Agreement, with its exhibits, represents the entire understanding of the City and Consultant with respect to the Parties’ rights and obligations under this Agreement, and supersedes and cancels any prior oral or written understanding, promises or representations with respect to those rights and duties. This is an integrated Agreement.

9.8 Hierarchy of Documents. If there is any conflict between the Agreement and its exhibits, the following order of priority shall control: (a) this Agreement; (b) Attachment A, Scope of Services; then (c) Attachment B, Consultant’s Schedule of Fees; then (d) any Addendum that may be awarded pursuant to Section 1.2 above.

9.9 Successors and Assigns. This Agreement shall be binding upon and inure to the benefit of the successors in interest, executors, administrators and assigns of each Party to this Agreement. However, Consultant may not assign, delegate, sublet, or transfer any or all of its rights, duties, or obligations under this Agreement without the City’s written consent, which may be withheld for any reason. Any attempted assignment without such consent will be invalid and void. A consent to one assignment will not be deemed to be consent to any subsequent assignment.

9.10 Amendments. This Agreement may be amended or modified only upon a written agreement signed by all Parties.

9.11 Third Party Rights. Nothing in this Agreement shall be construed to give any rights or benefits to anyone other than the City and the Consultant.

9.12 Compliance with Law. Consultant will comply with all applicable federal, state and local government laws, ordinances, codes and regulations. If Consultant’s failure to comply with

such laws results in a claim against the City for any reason, Consultant will be responsible for defending, indemnifying and holding the City harmless as provided in this Agreement.

9.13 Laws and Venue. This Agreement is to be interpreted in accordance with the laws of the State of California. If any action is brought to interpret or enforce any term of this Agreement, the action shall be brought in a state or federal court in the County of San Diego.

9.14 Severability and Waiver. The unenforceability, invalidity or illegality of any provision(s) of this Agreement shall not render the other provisions unenforceable, invalid or illegal. Waiver by any party of any portion of this Agreement shall not constitute a waiver of any other portion.

9.15 Non-discrimination. Consultant represents that is offers equal opportunities to and does not discriminate against any employee or applicant for employment because of race, color, national origin, ancestry, sex, age or other interests protected by the California or United States Constitutions. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination.

9.16 Prevailing Wages. Consultant is advised that this Agreement may call for work that qualifies as public work for purposes of the California Labor Code, which requires payment of prevailing wages for applicable trades and services. Payment for public work performed under this Agreement is therefore subject to compliance monitoring and enforcement by the DIR. Pursuant to Labor Code Section 1773, the City has obtained from the Director of the DIR the general prevailing rate of per diem wages and the general prevailing rate for holiday and overtime work in the locality in which this work is to be performed for each craft, classification or type of worker needed to execute the contract. These per diem rates, including holiday and overtime work, as well as employer payments for health and welfare, pension, vacation, and similar purposes are on file at the Office of the Director of Engineering, and available from the Director of the DIR. These per diem rates will be made available to any interested party upon request. In addition, these prevailing wage rates may be obtained via the internet at www.dir.ca.gov/dlsr. Consultant and every Subconsultant must pay the prevailing rates, post copies thereof at the job site and otherwise comply with applicable provisions of state law. It is mandatory that the Consultant and every Subconsultant under them comply with all Labor Code provisions, which include but are not limited to the payment of not less than the specified rates to all workers employed by them in the execution of the Contract, employment of apprentices, and retention of payroll records, hours of labor and debarment of Consultant and Subconsultants.

9.17 Employment of Apprentices. Consultant and all Subconsultants shall comply with the requirements of Labor Code Sections 1777.5 and 1777.6 in the employment of apprentices. Information relative to apprenticeship standards, wage schedules, and other requirements may be obtained from the Director of Industrial Relations, ex officio the Administrator of Apprenticeship, San Francisco, California, or from the Division of Apprenticeship Standards and its branch offices. Knowing violations of Labor Code Section 1777.5 will result in forfeiture not to exceed one hundred dollars (\$100.00) for each calendar day of non-compliance pursuant to Labor Code Section 1777. The responsibility for compliance with this section shall rest upon the Consultant.

9.18 Consultant/Contractor Registration. Pursuant to Labor Code Sections 1725.5 and 1771.1, Consultant and all Subconsultants are registered with the DIR to perform public work and will maintain active registration with the DIR (including payment of all required registration and annual renewal fees) for the duration of the Project.

9.18.1 Any listed and/or unlisted Subconsultant working for a public works project shall be replaced by the Consultant immediately upon notice by the City or Consultant that the Subconsultant is unregistered. Consultant shall be responsible for any costs associated with the replacement of a Subcontractor for failure to be registered with the DIR.

(Signature page to follow)

City Council approved the award of this Agreement and authorized the City Manager to sign it at its regularly scheduled meeting held on April 8, 2026.

CITY OF SANTEE

NOVA SERVICES, INC.

By: _____
Wendy Kaserman, City Manager

By: _____
Danny J. Barnett, President/CFO

Date signed: _____

Date Signed: _____

APPROVED AS TO LEGAL FORM:

BEST BEST & KRIEGER LLP

By: _____
Shawn Hagerty, City Attorney

EXHIBIT A

SCOPE OF SERVICES

Each fiscal year the City appropriates funds for various Capital Improvement Projects. In order to accomplish the annual goal, the City will need on-going special inspection services for its Capital Improvement Program projects during the construction phases. The work can include various disciplines.

The successful firm will provide special inspection, testing, geotechnical engineering and other related services for the City's Capital Improvement Program projects and other development projects in the City on an as-needed basis. The City may also utilize the services to cause the completion of 3rd party inspection and testing services for private or utility projects conducting work on City owned parcels, easements or right-of-way to ensure quality control and compliance is performed on construction projects. A task order will be issued for each individual project or services required by the City as-needed and will further define the specific services, timeline and budget.

All services provided will be accomplished according to the projects drawings, specifications permit requirements, or other industry standards which may include City of Santee Public Works Standards, City of Santee Standard Specifications, San Diego Area Regional Standard Drawings, Standard Specifications for Public Works Construction, Caltrans Standard Specifications and Drawings, California Building Code, ASTM Standards, ASHTO Standards and all other necessary performance requirements governing a particular project.

- ◆ The successful applicant will have the experience and qualifications necessary to provide the following services:

Special Inspection and Testing:

- ◆ Reinforced Concrete
- ◆ Masonry
- ◆ Steel and Welding
- ◆ Fireproofing
- ◆ Reinforced Steel and Post Stress Tendons
- ◆ High Strength Bolting
- ◆ Completion of Daily Field Inspection and Testing Reports

Geotechnical Engineering, Testing and Reporting:

- ◆ Geotechnical Engineering Reports for Project Design and Development
- ◆ Asphalt Concrete Composition, Grading, Stability, and Density Testing
- ◆ Asphalt Concrete Compaction Testing
- ◆ Aggregate Base Compaction Testing
- ◆ Soils Composition and Classification Testing
- ◆ Soils Compaction Testing
- ◆ R-Value Testing
- ◆ Permeability Testing

Exhibit A

- ◆ Daily Field Inspection and Testing Reports

Utility Location and Leak Detection Services (can be a third-party sub-consultant)

- ◆ Underground location and mark out of electrical, gas, water, sewer, irrigation and communication facilities.
- ◆ Leak Detection Service

CCTV Inspection Services (can be a third-party sub-consultant)

- ◆ CCTV Inspection of City Stormwater Facilities
- ◆ CCTV Inspection of Sewer Laterals and Mainlines at City Facilities
- ◆ Completion of Field Inspection Reports

Deputy Inspection Services (May be 3rd Party Sub-Consultant)

- ◆ Earthwork and Grading
- ◆ Asphalt Concrete
- ◆ Aggregate Base
- ◆ Concrete Curbs, Gutters, Sidewalk
- ◆ Storm Water Pipelines, Structures, Inlets, Cleanouts and Other Structures
- ◆ Street Lighting and Traffic Signals
- ◆ Traffic Control
- ◆ Daily Field Inspection Reports

Each task order for service may vary in size and schedule based on specific project needs. The City is not obligated to contract all scope of services with the successful firm.

2.1 Project Management

- ◆ The selected firm will be able to provide all project management necessary to ensure the timely and successful completion of each task order and to provide continuous Quality Assurance and Quality Control during all design, inspection and testing activities. Appropriate project management services may vary by project or task but are anticipated to include the following.
- ◆ Award Meeting – Upon notification and acceptance of a new task, consultant will meet with representatives of the City’s Engineering Department to discuss the requested services.
- ◆ Kick-Off Meeting – Consultant will initiate each project with a kick-off meeting with City staff upon receipt of the notice to proceed and provide a project schedule showing all applicable tasks and completion dates.
- ◆ Team Meetings – Consultant will conduct monthly meetings to review project progress with City staff during active task orders. These meetings may include subconsultants as necessary. Meetings are anticipated to occur monthly, each meeting lasting approximately one (1) hour, and as necessary based on each task order scope of work.
- ◆ Project Tracking – The Consultant will provide monthly progress memoranda, schedule updates and invoicing.

2.2 Special Inspection and Testing Services

The Special Inspection and testing services are anticipated to be used for building facility projects, bridge projects and other projects requiring third-party special inspection services for compliance with the California Building Code and all local State and Federal inspection and testing requirements for the public works and general construction industry.

2.3 Geotechnical Engineering and Testing Services

This service will provide geotechnical engineering reports and studies for City projects, material testing of concrete, asphalt concrete, aggregate bases, soils and other related granular materials. Compaction testing for asphalt concrete, aggregate base, soils, foundations, and trench bedding and backfill.

2.4 Underground Utility Location Services

Services for utility location services may be necessary to help the City determine the location of existing City owned underground facilities such as water, sewer, electrical, communication and irrigation facilities when location services for the design, construction or repair of underground facilities are needed for City engineers or Public Works operations.

2.5 CCTV Inspection Services

Services for closed circuit television (CCTV) inspection are for periodic inspections of storm drains or any City of Santee owned water and sewer facilities on City owned parcels for routine maintenance and operations. This service may be required in emergencies for inspecting failed storm drains or sanitary sewer during storm events or immediately after storm events and during nighttime hours from 5:00pm to 7:00am, weekends or holidays.

2.6 Deputy Inspector Services

Consultant must be able to provide Deputy Inspector Services to assist the Engineering Department field inspection staff in high-demand staffing periods, night work periods or to assist in periods where City inspection staff are on vacation or other forms of leave on a temporary basis. The Deputy Inspector would report to the City engineer in charge of the project and provide daily updates on observations, inspection and testing performed on a project in which the City engineer would be responsible to make final determination of acceptance of improvements based on the recommendations, observations, inspection and testing performed by the Deputy Inspector. The Consultant would be provided at least 5 days' notice by the City for such required services.

2.7 Construction and Field Safety

The Firm shall be responsible for all construction and field safety of its employees, subconsultants and other persons, contractors or firms working on their behalf. The Consultant shall comply with all local, State and Federal Regulations to be compliant with safety regulation including Cal/OSHA and confined space requirements. The firm shall provide all necessary safety equipment and Personal Protective Equipment (PPE) and at a minimum, hard hats, ear protection, eye protection, safety vests, masks and safety boots when working on construction sites.

2.8 Project Reports

The Consultant will be expected to provide all final testing and inspection reports to the City at the end of each work week and provide immediate notice of any test or inspection which fails to meet the project plans, specifications, or permit requirements.

At a minimum, inspection reports must include the following:

- ◆ Firm's Name
- ◆ Inspectors or Testing Employee's Name
- ◆ Project Name or Task
- ◆ Site Location of Testing
- ◆ Date and Time of Testing
- ◆ Current Weather and Field Conditions
- ◆ General observations of work being performed
- ◆ Testing or Inspection Type Being Performed
- ◆ Specific Location of Test or Observations
- ◆ (Pipe Stationing, Depth, Height, Structural Member, Wall Type, Masonry Course, Asphalt Section, Base Section, Etc.)
- ◆ Results of testing or observations

2.9 Subcontracts

If the Consultant subcontracts any portion of the work, the Consultant shall ensure that all contract requirements including insurance provisions provided herein are adhered to.

2.10 Quality Control

All work submitted by the Consultant shall be complete and shall be carefully checked prior to submission. If the City discovers any errors or omissions prior to approving the Consultant's work, the work will be returned for correction, and the Consultant will not be allowed additional compensation. Should the City or others discover errors or omissions in the work submitted by the Consultant after the City's approval thereof, the City's approval shall not be used as a defense by the Consultant.

Nova Services, Inc. proposal letter dated March 12, 2026 is attached.



City of Santee
Office of the City Clerk
10601 Magnolia Avenue - Building 3
Santee, CA 92071-1222

March 12, 2026

Subject: RFP - As Needed On-Call Special Inspection and Geotechnical Services

Dear City of Santee Selection Committee,

Barnett Quality Control Services, Inc., dba NOVA Services, Inc. ("NOVA"), is pleased to submit this proposal to provide as needed, on-call special inspection, materials testing, and geotechnical engineering services for the City of Santee in response to RFP #40045.

Proposer Information:

a. Legal Name	Barnett Quality Control Services, Inc. dba NOVA Services, Inc.
b. Corporate Structure	S Corporation
c. Primary Contact/ Address & Contact Information	Andrew Neuhaus, PG, CEG NOVA Services, Inc. 4373 Viewridge Avenue, Suite B San Diego, CA 92123 Phone: 619.922.6889 Email: aneuhaus@usa-nova.com

Subconsultants and Scope of Work

To provide the full scope of services requested in the RFP, NOVA will utilize qualified subconsultants for specialized services:

- » **Cable Pipe & Leak Detection (CPL):** Leak Detection Services
- » **AirX Utility Surveyors, Inc.:** Utility Locating and CCTV Inspection Services
- » **Parsons Transportation Group Inc.:** Deputy Inspection Services

NOVA will manage and coordinate these subconsultants to ensure services are delivered in a consistent, efficient, and responsive manner while maintaining a single point of responsibility to the City.

There is no pending litigation that would materially affect NOVA's ability to perform the services described in this proposal. Additionally, NOVA has not been involved in any bankruptcy or insolvency proceedings within the past ten (10) years.

For more than 17 years, NOVA has provided geotechnical engineering, construction materials testing, and special inspection services for public agencies, infrastructure projects, and municipal capital improvement programs throughout Southern California. NOVA has successfully completed over 3,000 geotechnical and construction testing projects supporting municipal infrastructure improvements, public facilities, schools, hospitals, mixed-use developments, and transportation-related projects. Our team has extensive experience supporting public works projects requiring compliance with the California Building Code, Caltrans standards, and municipal public works specifications.

Services to be Performed by NOVA

For this contract, NOVA will serve as the prime consultant and will directly perform the following services:

- » Special inspection services including reinforced concrete, masonry, steel and welding, fireproofing, reinforced steel and post stress tendons, high-strength bolting, and completion of daily field inspection and testing reports
- » Geotechnical engineering reports for project design and development
- » Asphalt Concrete Composition, Grading, Stability, and Density Testing
- » Asphalt Concrete Compaction Testing
- » Aggregate Base Compaction Testing
- » Soils Composition and Classification Testing
- » Soils Compaction Testing
- » R- Value and Permeability Testing
- » Daily Field Inspection and Testing Reports


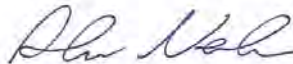
NOVA confirms that this proposal shall remain valid for a period of 120 days from the proposal submission deadline. NOVA further certifies that neither the firm nor any personnel assigned to perform work under this contract have any conflict of interest with the City of Santee.

NOVA has reviewed the City of Santee's Agreement for As-Needed Professional Services and acknowledges the terms and conditions set forth therein. NOVA accepts these terms and conditions with one exception. Section 14. Insurance, Subsection F Minimum Policy Limits Required – this section requests professional liability limits of \$2,000,000 per claim and \$5,000,000 aggregate. NOVA carries \$2,000,000 per claim and \$2,000,000 aggregate.

We appreciate the opportunity to submit our qualifications and look forward to supporting the City of Santee with reliable, high-quality geotechnical engineering, materials testing, and special inspection services.

Respectfully Submitted,

NOVA Services, Inc.


Danny J. Barnett
President/CFO

Andrew Neuhaus, PG, CEG
Project Manager, Senior Engineering Geologist

EXHIBIT B

SCHEDULE OF CHARGES



SECTION 5. SCHEDULE OF CHARGES AND FEES

CITY OF SANTEE AS NEEDED ON-CALL RATES

SERVICES	UNIT	RATE
Professional Staff		
Principal Geotechnical Engineer	Hour	\$ 250.00
Principal Engineer/Geologist	Hour	\$ 250.00
Senior Engineer/Geologist	Hour	\$ 225.00
Project Manager	Hour	\$ 190.00
Project Engineer/Geologist	Hour	\$ 175.00
Staff Engineer/Geologist	Hour	\$ 150.00
Technical Staff		
Special Inspector: Concrete, Steel, Masonry, Post-Tension Concrete, Fireproofing, Batch Plant, Roofing	Hour	\$ 135.00
ACI Concrete Technician	Hour	\$ 132.00
Firestopping/Fire Caulking Inspector	Hour	\$ 140.00
Non-Destructive Testing: Ultrasonic, Magnetic Particle, Liquid Penetrant	Hour	\$ 140.00
Geotechnical Supervisor	Hour	\$ 150.00
Soils Technician	Hour	\$ 135.00
Lab Technician, services outside normal business hours	Hour	\$ 98.00
Equipment and Expenses		
Coring Two Man Crew	Hour	\$ 400.00
Floor Flatness	Visit	\$ 1,800.00
Nuclear Gauge	Day	\$ 45.00
Pachometer – Reinforcing Steel	Day	\$ 65.00
Skidmore/Wilhelm	Day	\$ 225.00
Schmidt Hammer	Day	\$ 65.00
Support Services and Other Expenses		
Technical Drafter (CAD)	Hour	\$ 120.00
Pick-Up/Delivery within San Diego County	Trip	\$ 50.00
Expert Witness Testimony	Hour	\$ 400.00
Monthly MetaField Reporting	Month	\$ 300.00

ADMINISTRATIVE FEE

A charge of 3% of the monthly invoice total will apply to all invoices for administrative and dispatch costs.

TRAVEL TIME AND MILEAGE

For projects that are greater than 25 miles from NOVA's Office, the IRS approved rate per excess mile to and from the project will be charged for inspectors and technicians.

EXPENSES AND OUTSIDE SERVICES

Outside services and reimbursable expenses not included in this fee schedule (samples sent to outside laboratory for testing, samples sent to outside fabricator or machine shop, equipment, subcontractors, vendor credentialing and billing programs, etc.) are charged at cost plus 10%.

Based on CA DIR Determination 07/01/2025. Fees may be increased each year to match the Consumer Price Index for Testing and increases in the Prevailing Wage Requirements



SECTION 5. SCHEDULE OF CHARGES AND FEES

LABORATORY TESTING		
Test	ASTM / Caltrans	Rate
Soil and Aggregate		
Atterberg Limits: PL, LL, PI	D4318, CT 204	\$ 240.00
California Bearing Ratio	D1883	\$ 680.00
Cleanness Value	CT 227	\$ Quote
Compaction Curve, Modified	D1557	\$ 290.00
Compaction Curve, Standard	D698	\$ 290.00
Compaction Check Point		\$ 98.00
Consolidation	D2435	\$ 270.00
Direct Shear	D3080	\$ 355.00
Direct Shear Remold		\$ 655.00
Durability Index	D3744	\$ 285.00
Expansion Index	D4829	\$ 255.00
Los Angeles Abrasion (LA Rattler)	C131, C535	\$ Quote
Moisture Content	D2216, CT 226	\$ 50.00
Moisture Content and Dry Density	D2937	\$ 50.00
Oversize Rock Correction	D4718	\$ 95.00
Percent Finer than #200	C117	\$ 90.00
pH and Resistivity	CT 643	\$ 175.00
R-Value	D2844	\$ 395.00
Sand Equivalent	D2419, CT 217	\$ 110.00
Sieve Analysis, with Wash	C136, D6913, CT 202	\$ 165.00
Sieve Analysis, fine with Hydrometer	D6913, D7928, D422	\$ 255.00
Specific Gravity and Absorption, Coarse	C127, CT 206	\$ 190.00
Specific Gravity and Absorption, Fine	C128, CT 207	\$ 145.00
Sulfate and Chloride Content		\$ 140.00
Unconfined Compression	D2166	\$ 190.00
Unit Weight and Voids in Aggregate	C29, CT 212	\$ 95.00
Asphalt Concrete		
Asphalt Mix Design Review (per hour)		\$ 260.00
Hveem Stability and Unit Weight	D1560	\$ 395.00
Maximum Theoretical Specific Gravity (Rice)	D2041	\$ 155.00
Percent Asphalt with Gradation (ignition oven)	C6307	\$ 260.00
Unit Weight Only (compacted sample or core)	D2726, D1188	\$ 60.00
Unit Weight Requiring Compaction	D2726	\$ 265.00
Wet Track Abrasion	D3910	\$ 240.00
Concrete and Masonry		
Absorption, Unit Weight, and Received Moisture, Masonry Block	C140	\$ 198.00
Composite Prism Masonry Unit	C1314	\$ 250.00
Compression Test, Block	C140	\$ 75.00
Compression Test, Brick	C67	\$ 65.00
Compression Test, Mortar, Grout	C780, C1019	\$ 55.00
Compression Test, High-Strength Grout	C1107	\$ 85.00
Compression Test, Core (includes sample prep)	C42	\$ 105.00
Compression Test, Lightweight Concrete (insulating, fill)	C495	\$ 65.00

Compression Test, Shotcrete Panel, set of four cut cores	C42	\$ 405.00
Concrete Cylinder Compression Test (4x8)	C39, CT 521	\$ 30.00
Concrete Cylinder Compression Test (6x12)	C39, CT 521	\$ 35.00
LABORATORY TESTING		
Test	ASTM / Caltrans	Rate
Concrete and Masonry (continued)		
Concrete Drying Shrinkage, set of three specimens	C157	\$ 475.00
Concrete Mix Design Review (per hour)		\$ 260.00
Fiber Reinforced Polymer	D7565	\$ 925.00
Flexural Strength, 6X6 beam	C78, C293, CT 523	\$ 135.00
Lineal Shrinkage, Masonry Block	C426	\$ 305.00
Masonry Block Conformance (absorption, unit weight, shrinkage, compressive strength)	C90	\$ 735.00
Moisture Vapor Emission Kit	F1869	\$ 60.00
Shotcrete Nozzleman Certification – mock-up panel, coring, and grading (per nozzleman)		\$ 2,850.00
Unit Weight Fresh Concrete	C138, CT 518	\$ 60.00
Unit Weight, Lightweight Concrete	C567	\$ 95.00
Steel and Fireproofing		
Bolt-Nut-Washer Conformance Testing	F606	\$ 895.00
Bolt-Nut-Washer, Hardness Only	F606	\$ 215.00
Fireproofing Adhesion/Cohesion	E736	\$ 40.00
Fireproofing – Density Test (template/displacement)	E605	\$ 92.00
Reinforcing Steel, Bend Test, No. 6 bar or smaller	A370	\$ 120.00
Reinforcing Steel, Tensile Test, < No. 6 bar	A370	\$ 120.00
Reinforcing Steel, Tensile Test, No. 7 or higher bar	A370	\$ Quote
Reinforcing Steel, Tensile Test, No. 7 bar or higher	A370	\$ Quote
Tensile Strength Mechanical Splice		\$ Quote

ADDITIONAL TERMS AND CONDITIONS

- Overtime occurs in the following instances:
 - work more than 8 hours per day is charged at time-and-a-half.
 - work more than 40 hours per week is charged at time-and-a-half.
 - work performed outside the hours between 6:30 a.m. and 4:00 p.m., Monday through Friday is charged at time-and-a-half; work up to 12 hours per day on Saturday is charged at time-and-a-half.
 - work more than 12 hours in one day, or over 8 hours on the 7th consecutive day or worked Sundays/holidays is charged at double time.
- Hourly rates are charged on a portal-to-portal basis.
- Mileage will be charged at the IRS approved rate per excess mile for services performed outside a 25-mile radius of this office.
- A 2-hour minimum is charged for field services. Work performed more than 2 hours will be rounded up to the next nearest hour. Work performed over 8 hours is charged in half-hour increments.
- **24-hour notice via submittal of the Dispatch Request Form to dispatch@usa-nova.com is required for testing and inspection services.** There will be a 2-hour minimum charge (show-up time) for cancellations without notification.
- Same Day Callouts will be subject to a 1-hour project management fee.
- When personnel are required by job conditions to work more than 5 consecutive hours without the ability to take a one-half hour uninterrupted lunch period, an additional hour will be billed at regular time in addition to actual hours worked.
- Laboratory testing that is required to be performed outside regular hours will be billed for Lab Technician time in addition to the lab test rate. Weekend sample pickups, if required, will incur additional charges.



SECTION 5. SCHEDULE OF CHARGES AND FEES



Cable Pipe & Leak Detection
UNDERGROUND DETECTION SERVICES

1483 N. 2nd St., Suite 201
El Cajon, CA 92021

1-800-450-LEAK
info@cpldetection.com
estimates@cpldetection.com

RATE SHEET

Leak Detection

Water Leak Detection (Inside/Outside/Residential/Commercial) \$385.00 – Min. Up to Two Hours
All Leak Inspections are \$200.00 Each Additional Hour Beyond Indicated Minimum

Gas Leak/Gas Survey \$295.00 First Hour \$270 Each Additional Hour
Preliminary Leak Check \$160.00 – Up to Thirty Minutes
Air Tanks \$60.00 Each Additional Tank as Needed
Helium Tanks Market Value (Small and Large Tanks)
PVC Water Line Locate Additional \$110.00 on All Leak Inspections
Sewer Leak Smoke Test \$310 per hour

Utility Locating

Utility Mark Out \$295.00 First Hour \$270 Each Additional Hour
Ground Penetrating Radar (G.P.R.) \$295.00 First Hour \$270 Each Additional Hour
Cable Fault Locate \$295.00 First Hour \$270 Each Additional Hour
GPS Mapping and Report \$295.00 First Hour \$270 Each Additional Hour
Concrete Scanning (Post Tension and Rebar) \$335.00 First Hour \$310 Each Additional Hour
Video Inspection/Locate for Sewer/Drain Lines \$335.00 First Hour \$310 Each Additional Hour
CCTV Crawler Inspection \$435.00 Per Hour with Two Hour Min.

****Mobilization Fees May Apply in Outlying Areas, Please Contact Office for Current Rates****

ALL PREVAILING WAGE WORK - \$310.00 PER HOUR WITH TWO HOUR MINIMUM

****CCTV PREVAILING WAGE - \$460.00 PER HOUR WITH FOUR HOUR MINIMUM****

OT PW UTILITY LOCATING - \$440.00 PER HOUR WITH FOUR HOUR MINIMUM
OT CCTV PW - \$610.00 PER HOUR WITH FOUR HOUR MINIMUM

Local Overtime Rates

Standard OT – Monday through Friday between 5:00pm-7:00pm, Saturday 8:00am-3:00pm
Late OT – Monday through Friday anything after 7:00pm, Saturday after 3:00pm, All day Sunday
Residential and/or Inside \$535.00 First Two Hours, \$310.00 Each Additional Hour
Commercial and/or Outside \$560.00 First Two Hours, \$310.00 Each Additional Hour
Overtime Service Charge \$210.00
Late OT \$635.00 First Two Hours, \$310.00 Each Additional Hour
Utility Locate Standard OT \$400.00 Per Hour, Late OT \$460.00 Per Hour
Additional Tech \$160 Per Hour

The above rates are in effect for the greater San Diego area, including Oceanside, Escondido, and Temecula. All holidays will be charged double the fee schedule. A service charge of \$160.00 will be charged if a call is canceled after our arrival or any dispatched call on weekends, holidays or after normal business hours. **There will be a \$10.00 Credit Card Convenience Charge applied to all payments with a CC**

Specialty services available upon request. *RATES ARE SUBJECT TO CHANGE AT ANY TIME*



SECTION 5. SCHEDULE OF CHARGES AND FEES



AIRX Utility Surveyors, Inc.
PREVAILING WAGE RATE SHEET
March 5, 2026



Pricing on this document is valid for 90 days from the date above.

Prepared For:	NOVA Services Attn: Nicole Cook ncook@usa-nova.com
Project Name:	City of Santee On Call Special Inspection and Geotechnical - Utility Locating and CCTV
Project Location:	TBD

Prevailing Wage Processing (Apprentice Reporting and Certified Payroll)

No.: hours @ \$125 per hour = \$0

UTILITY LOCATING ~ (4 HOUR ONSITE MINIMUM PER MAN)

1 Technician w/van, GPR, Sonic, Electro-magnetic, Push Cam, Duct Rod Locating Equipment
Utility Mark-Out with paint, flags & whiskers for all Utilities.
(Includes: Mobilization, Locating Time, and Project Management)

No.: hours @ \$205 per man hour = \$0

UTILITY LOCATING ~ EMERGENCY HOURLY RATE (2-HOUR NOTICE)

No.: hours @ \$375 per man hour = \$0

CCTV PACKAGE 1 ~ (4 HOUR ONSITE MINIMUM)

CCTV Camera / Lateral Launch System - Certified Technician
Traffic Control for Shoulder or Bike Lane Closure
CCTV Recording and Mark-out of Pipe

No.: hours @ \$410 per man hour = \$0

XBC2026-149PS City of Santee On Call Special Inspection and Geotechnical -NOVA
AL



SECTION 5. SCHEDULE OF CHARGES AND FEES



Consultant Parsons Client City of Santee
 Project As Needed On-Call Special Inspection and Geotechnical Services

Combined Rate	Fringe Benefit %	+	General & Administrative %	=	115.8	%
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Fee=10%

CALCULATION INFORMATION

Name/Job Title/Classification ¹	Hourly Billing Rates ²	Effective Date of Hourly Rate		Current Actual Hourly Rate	Prevailing Wage Rate
		Straight ³	From		
Paul Straznickas/Document Control	\$191.28	3/5/2026	6/30/2026	\$80.58	N/A
Adlai Evans, PE/Special Inspector	\$258.04	3/5/2026	6/30/2026	\$108.71	\$101.27
Jabra Mitwasi/Special Inspector ⁴	\$240.39	3/5/2026	6/30/2026	\$80.90	\$101.27
Ardalan Shahkar/Special Inspector ⁵	\$240.39	3/5/2026	6/30/2026	\$83.28	\$101.27
Joseph Porra/Special Inspector ⁵	\$240.39	3/5/2026	6/30/2026	\$98.56	\$101.27

(Add pages as necessary)

NOTES

- Key personnel **must** be marked with an asterisk (*) and employees that are subject to prevailing wage requirements must be marked with two asterisks (**). All costs must comply with the Federal cost principles. Subconsultants will provide their own cost proposals.
- The cost proposal format shall not be amended.
- Billing rate = actual hourly rate * (1 + ICIR) * (1 + Fee). Indirect cost rates shall be updated on an annual basis in accordance with the consultant's annual accounting period and established by a cognizant agency or accepted by Caltrans. All costs must comply with the Federal cost principles for reimbursement.
- For named employees and key personnel enter the actual hourly rate. For classifications only, enter the Average Hourly Rate for that classification.
- Utilizing Prevailing Wage determination SD-23-63-3-2026-1D issue date February 22, 2026


EXHIBIT C

ACTIVITY SCHEDULE

The activity schedule for the as-needed, on-call special inspection and geotechnical services agreement shall begin on April 20, 2026 for an initial term of 2-years and terminate on April 20, 2028 unless otherwise extended by written amendment by the City and Consultant for a total term of 8-years, terminating on April 20, 2032. Activity schedule for each task order will define the schedule and term for each applicable task order.

MEETING DATE April 8, 2026

ITEM TITLE PUBLIC HEARING FOR A CONDITIONAL USE PERMIT (CUP-2025-0004) FOR A DRIVE-THROUGH QUICK-SERVICE RESTAURANT ON A 2.02-ACRE LOT AT 9207 MISSION GORGE ROAD (APN 383-124-52-00) IN THE GENERAL COMMERCIAL (GC) ZONE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTION 15303 (APPLICANT: LAWRENCE RAFOU, PRIMO DEVELOPERS LLC)

DIRECTOR/DEPARTMENT Sandi Sawa, AICP, Planning & Building Department 

SUMMARY

The project is a request for a Conditional Use Permit (CUP-2025-0004) for a 1,898 square-foot drive-through quick-service restaurant (Project) on a 2.02-acre property located on the south side of Mission Gorge Road, between Carlton Hills Boulevard and Fanita Drive, addressed as 9207 Mission Gorge Road (APN 383-124-52-00) in the General Commercial (GC) zone under the GC land use designation.

The site is currently developed with an existing 1,000 square-foot used-car dealership at the front of the property and an existing 2,206 square-foot single-family residence at the rear. The Project proposes to demolish the used-car dealership, while the existing residence in the rear of the property will remain and is not a part of the Project. Forester Creek is located directly east of the site and to the north across Mission Gorge Road. The New Lincoln Center commercial plaza is located to the west, and State Route 52 (SR-52) is located to the south, beyond the existing single-family residence.

The proposed drive-through restaurant will be located at the front of the lot. The restaurant will have a dining area, restroom, customer service counter, restaurant preparation area, and an outdoor seating area. Two driveways will provide access to the site from Mission Gorge Road where customers can either park or directly enter the drive-through lanes. Customers will queue into the drive-through via two lanes that merge into a single lane, which allows the queue to accommodate up to 15 cars without backing up into the parking area or reaching Mission Gorge Road. For customers eating on site, the Project will provide 14 standard parking spaces, 2 standard Electric Vehicle Charging Station (EVCS) parking spaces, 1 accessible EVCS space, and 2 accessible parking spaces for a total of 19 parking spaces.

Landscaping would be provided along the entire project boundary perimeter. To meet the Mission Gorge Road Design Standards, as outlined within the Community Enhancement Element of the General Plan, the Project will provide a meandering sidewalk as well as a front yard landscape buffer. The Project is consistent with the GC General Plan Land Use Designation and GC Zoning Classification.

A courtesy notice was mailed on March 25, 2026, to all properties within a 300-foot radius of the project site. The notice informed nearby residents and property owners of the project and provided an opportunity to submit comments. One comment was received in response to the mailing. The comment inquired about what the potential business for this drive-through would be. They were informed that the applicant has not yet identified a business for this space.

ENVIRONMENTAL REVIEW

The Project is exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3 of the CEQA Guidelines (New Construction or Conversion of Small Structures), because the Project consists of constructing a restaurant not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area on a site already developed. Through review of the Project and Project site, none of the exceptions to the Class 3 exemption found in CEQA Guidelines Section 15300.2 apply to the Project.

FINANCIAL STATEMENT #8

Staff costs for application processing are paid on an actual cost recovery basis. Development Impact Fees are estimated to total \$16,783.58.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION WK

1. Conduct and close the Public Hearing; and
2. Find CUP-2025-0004 exempt from the provisions of CEQA pursuant to Section 15303 of the CEQA Guidelines and authorize the filing of a Notice of Exemption; and
3. Adopt the Resolution approving CUP-2025-0004.

ATTACHMENTS

Staff Report
Aerial Vicinity Map
Project Plans
Resolution

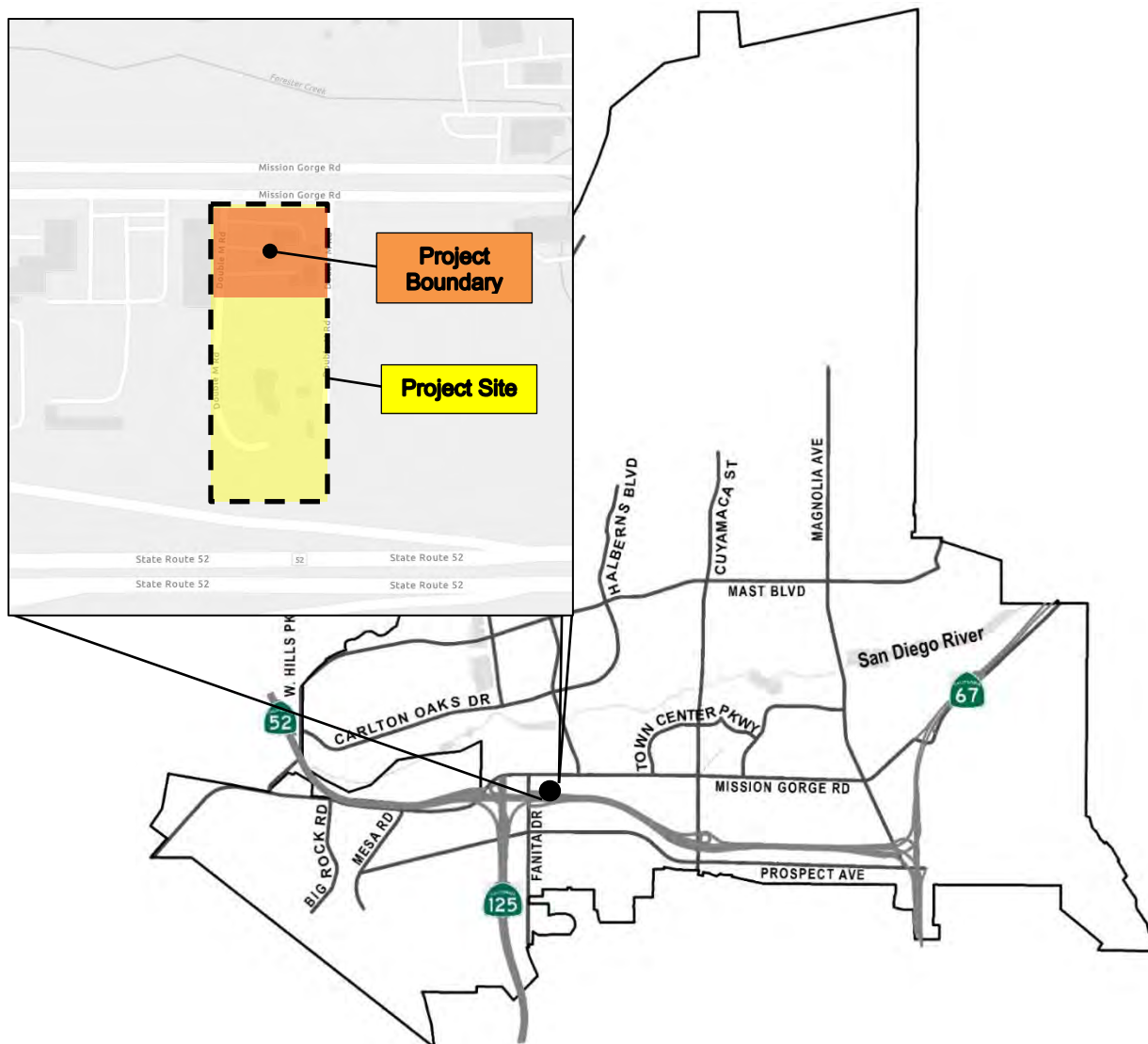
STAFF REPORT

PUBLIC HEARING FOR A CONDITIONAL USE PERMIT (CUP-2025-0004) FOR A DRIVE-THROUGH QUICK-SERVICE RESTAURANT ON A 2.02-ACRE DEVELOPED LOT AT 9207 MISSION GORGE ROAD (APN 383-124-52-00) IN THE GENERAL COMMERCIAL (GC) ZONE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTION 15303

APPLICANT: LAWRENCE RAFOU, PRIMO DEVELOPERS LLC

**CITY COUNCIL MEETING
APRIL 8, 2026**

Notice of the Public Hearing was published in the East County Californian on March 27, 2026, and 13 adjacent owners and tenants of properties within 300 feet of the property and other interested parties were notified by U.S. Mail on March 27, 2026.



A. SITUATION AND FACTS

1. Requested by Lawrence Rafou
2. Land Owner..... Primo Developers LLC
3. Type and Purpose of Request..... Conditional Use Permit request for a 1,898 SF quick service drive-through restaurant
4. Location..... 9207 Mission Gorge Road
5. Site Area..... 2.02 acres
6. Number of lots..... 1
7. Hillside Overlay No
8. Existing Zoning..... GC (General Commercial)
9. Proposed Zoning GC
10. Surrounding Zoning North: P/OS (across Mission Gorge Road)
South: SR-52
East: GC
West: GC
11. General Plan Designation GC
12. Existing Land Use Used Car Dealership (front), Single-family Residential (rear)
13. Surrounding Land Use North: Mission Gorge Road and Forester Creek
South: State Route 52 (SR-52)
East: Vacant and Forester Creek
West: Commercial Retail
14. Terrain..... Generally flat on the north, sloping upward toward the south
15. Environmental Status The project is exempt from the California Environmental Quality Act (“CEQA”) pursuant to the CEQA Guidelines Section 15303, Class 3: New Construction or Conversion of Small Structures
16. APN..... 383-124-52-00
17. Airport Influence Area (AIA)..... AIA 1, Airport Safety Zone 6 and determined consistent with the Gillespie Field Airport Land Use Compatibility Plan (ALUCP) on 3/13/2026.
18. Public Noticing..... One comment was received asking what the potential occupant of the restaurant would be.

B. BACKGROUND

Existing Conditions

The project site consists of a 2.02-acre site south of Mission Gorge Road. The site is currently developed with a 1,000 square-foot used-car dealership at the front and a 2,206 square-foot single-family residence at the rear. Forester Creek is located directly east of the site, and to the north across Mission Gorge Road. The New Lincoln Center commercial plaza is located to the west and further south past the existing single-family home is SR-52.

C. PROJECT DESCRIPTION

Overview

The project is a request for a Conditional Use Permit for a 1,898 square-foot drive-through quick-service restaurant (Project) at 9207 Mission Gorge Road. The proposed 20-foot-tall building, with 4-foot screening parapets, would be on the north side of the site. The restaurant will have a dining area, restroom, customer service counter, restaurant preparation area, and an outdoor seating area with 16 fixed seats. Two driveways will provide access to the site from Mission Gorge Road where customers can either park or directly enter the drive-through lanes. Customers will queue into the drive-through via two lanes that merge into a single lane, which allows the queue to accommodate up to 15 cars without backing up into the parking area or reaching Mission Gorge. When customers exit the drive-through, they may exit straight onto Mission Gorge Road, or exit left into the parking lot to remain on site. For customers who choose to order inside the restaurant, the Project will provide 14 standard parking spaces, 2 standard Electric Vehicle Charging Station (EVCS) parking spaces, 1 accessible EVCS space, and 2 accessible parking spaces for a total of 19 parking spaces.

D. ANALYSIS

General Plan Consistency

The General Plan designation of this site is General Commercial (GC). The GC designation provides for a wide range of retail and service activities and should have direct access to major roads or prime arterials. The proposed project is aligned with the recommended uses of the General Plan and has direct access to and from Mission Gorge Road, which is designated as a major arterial in the Mobility Element. The General Plan also recommends that all new commercial developments contribute to an overall positive visual identity. As designed, the building contributes to a positive visual identity by providing variation in roofline and materials. The site and right-of-way design include a meandering public sidewalk and a variable 10-foot landscape buffer between the sidewalk and the parking spaces at the front. The flood zone is located in the northeast corner of the property; however, no structures are proposed within this area. Based on the analysis above, the project is consistent with the

General Plan.

Zoning Ordinance Consistency

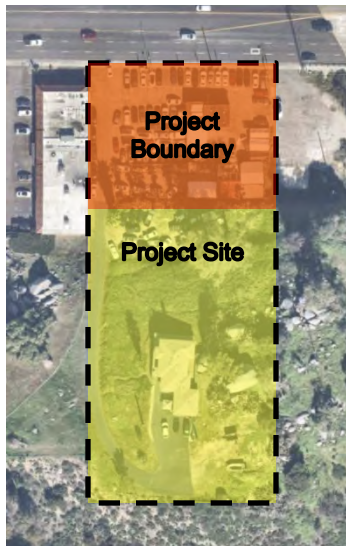
Development Standards: This site is in the GC zoning district. The development standards are found in Chapter 13.12 of the Santee Municipal Code (SMC) and outlined in Table 1 below. The site has been designed in conformance with all GC development standards.

Table 1: Development Standards Summary (GC)

	Required	Proposed
Maximum Height	40 feet	24 feet
Setbacks		
Street	10 feet	10 feet
Sides	5 feet	36 feet (west) 5 feet (east)
Rear	10 feet	10 feet
Parking	19 spaces	19 spaces

Landscaping: The design includes landscaping in all setbacks and within the parking lot area, as required, incorporating 12 trees, shrubs, and groundcover. The development has been designed to meet the design standards of the Mission Gorge Road Corridor of the Community Enhancement Element. This includes the incorporation of a 20-foot front yard landscape buffer (10-foot easement for public access/meandering sidewalk and 10-foot landscape buffer) starting from the City's right-of-way. The landscape and landscape buffer width is intended to align with landscape buffers provided by existing and future uses along Mission Gorge Road.

On-Site Parking: Per SMC 13.24.040B.7, places of assembly, which include restaurants, require 1 space for every 100 square feet of gross floor area. The project will provide 14 standard parking spaces, 2 standard Electric Vehicle Charging Station (EVCS) parking spaces, 1 accessible EVCS space, and 2 accessible parking spaces for a total of 19 parking spaces meeting the parking requirement.



Compatibility with Adjacent Land Uses

The project site is currently developed with a used-car dealership which is compatible with the adjacent multi-tenant commercial building and coffee shop as these are all commercial uses. The project will remain commercial by proposing a restaurant which is compatible with the current and surrounding zoning and land use designations. The site contains an existing single-family home to the south. The project has been designed to be compatible with the adjacent residential use by A) ensuring parking lot lights are shielded and downward lit, so no glare extends past the southern project boundary and B) installing an 8-foot-tall block retaining wall between the proposed restaurant and the existing single-family home to separate the commercial use with the residential use. The wall height varies with the

highest point at 8 feet on the southern side. The east and west side are not taller than 1 to 5 feet in height.

Airport

The project is 1.35 miles from Gillespie Field Airport and is located within Airport Influence Area 1, Airport Safety Zone 6 of the Gillespie Field Airport Land Use Compatibility Plan (ALUCP). On December 23, 2025, the Federal Aviation Administration (FAA) provided that no notice was required for submittal to the FAA based on Obstruction Evaluation/Airport Airspace Analysis pre-screening results. In addition, the Airport Land Use Commission (ALUC) reviewed the proposed project and FAA results. In a determination letter dated March 13, 2026, the ALUC found the Project is consistent with the ALUCP. The consistency determination was made final on April 2, 2026, at an ALUC public meeting.

Traffic

As proposed site can accommodate 19 parked cars and up to 15 queued cars, before impacting the parking drive aisle and Mission Gorge Road. A technical memorandum and analysis of the City of Santee Vehicle Miles Traveled (VMT) Analysis Guidelines was prepared for the Project to demonstrate that the design of the drive-through lanes would accommodate the necessary capacity to contain queuing vehicles within the property's boundaries. The analysis provided that the project qualifies as a Locally Serving Retail Project because it is less than 125,000 square feet and is intended to primarily serve the local community. The Institute of Transportation Engineers (ITE) Trip Generation Manual states a fast-food restaurant with drive-through window is characterized by "a large drive-through clientele, long hours of services and high turnover rates for eat-in customers", meaning it primarily accommodates adjacent neighborhood needs and generates localized traffic demand. A restaurant tenant like

Starbucks, Dunkin’ Donuts, or Del Taco is projected to occupy this restaurant.

Therefore, in accordance with the City of Santee VMT Analysis Guidelines, the project can be screened out from further VMT Analysis.

Environmental Status

The Project is exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3 of the CEQA Guidelines (New Construction or Conversion of Small Structures), because the Project consists of constructing a restaurant not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area on a site already developed. Through review of the Project and Project site, none of the exceptions to the Class 3 exemption found in CEQA Guidelines Section 15300.2 apply to the Project.

Impact Fees

The applicant shall pay all development impact fees in effect at the time of building permit issuance. With an increased commercial square footage from 1,000 square feet to 1,898 square feet, the fee estimate is based on a net gain of 898 square feet. At present, the fees are estimated to be as follows:

a.	Traffic Signal	\$ 1,726.54	or	\$ 1,922.65/ 1000 sf
b.	Traffic Mitigation	\$ 12,330.83	or	\$ 13,731.44/ 1000 sf
c.	Drainage	\$ 1,547.90	or	\$ 1,723.72/ 1000 sf
d.	Fire Facilities	\$ 812.73	or	\$ 905.04/ 1000 sf
e.	Long Range Planning	\$ 36.49	or	\$ 40.64/ 1000 sf
f.	Administration	\$ 329.09	or	\$ 366.47/ 1000 sf
Total		\$ \$16,783.58		

Fees will adjust on an annual basis in accordance with the Municipal Code.

E. STAFF RECOMMENDATION

1. Conduct and close the Public Hearing; and
2. Find CUP-2025-0004 exempt from the provisions of CEQA pursuant to Section 15303 of the CEQA Guidelines and authorize the filing of a Notice of Exemption; and
3. Adopt the attached resolution approving CUP-2025-0004.

AERIAL VICINITY MAP

SANTEE TRAILSIDE QUICK-SERVICE RESTAURANT

APN: 383-124-52-00



VIEW FROM NORTH-EAST CORNER



SANTEE TRILSIDE

NEW QUICK SERVICE RESTAURANT @

9207 MISSION GORGE RD.
SANTEE, CA 92071

PROJECT TEAM

ARCHITECT: HAGMAN & ASSOCIATES
7061 PRINCESS VIEW DR.
SAN DIEGO, CA. 92120
TEL: (619) 954-3864
PARIS HAGMAN, ARCHITECT

CIVIL ENGINEER: K & S ENGINEERING
7801 MISSION CENTER CT.
SUITE 100
SAN DIEGO, CA. 92108
TEL: (619) 296-5565
CONTACT: HOSSEIN ZOMORRODI

LANDSCAPE ARCHITECT: ANGELINA SOTELO, ASLA
2643 4TH AVE.
SAN DIEGO, CA. 02103
(619) 719-6756

GEOTECHNICAL ENGINEER: ROD MIKESSELL, GE
GEOCON INCORPORATED
6960 FLANDERS DRIVE,
SAN DIEGO, CA 92121-2974
D: 858.558.6900 EXT. 220]
Rod Mikesell <mikesell@geconinc.com>

BIOLOGICAL CONSULTANT: MICHAEL K. JEFFERSON, PRESIDENT
BLUE CONSULTING GROUP

P.O. BOX 501115
SAN DIEGO, CA 92150
OFFICE: (858) 391-8145
MIKE@BLUECONSULTING.COM

ENVIRONMENTAL CONSULTANT: JULIE MCCALL
HELIX ENVIRONMENTAL PLANNING
7578 EL CAJON BOULEVARD
LA MESA, CA 91942
MAIN 619.462.1515 CELL 619.838.4345
Julie McCall <JulieM@helixepi.com>

PHOTOMETRIC STUDY BY: FIDEL GARCIA, ELECTRICAL ENGINEER
UNO DESIGN
225 3RD. AVE.
CHULA VISTA, CA 91902
(619)701-0220
fgarcia11@cox.net

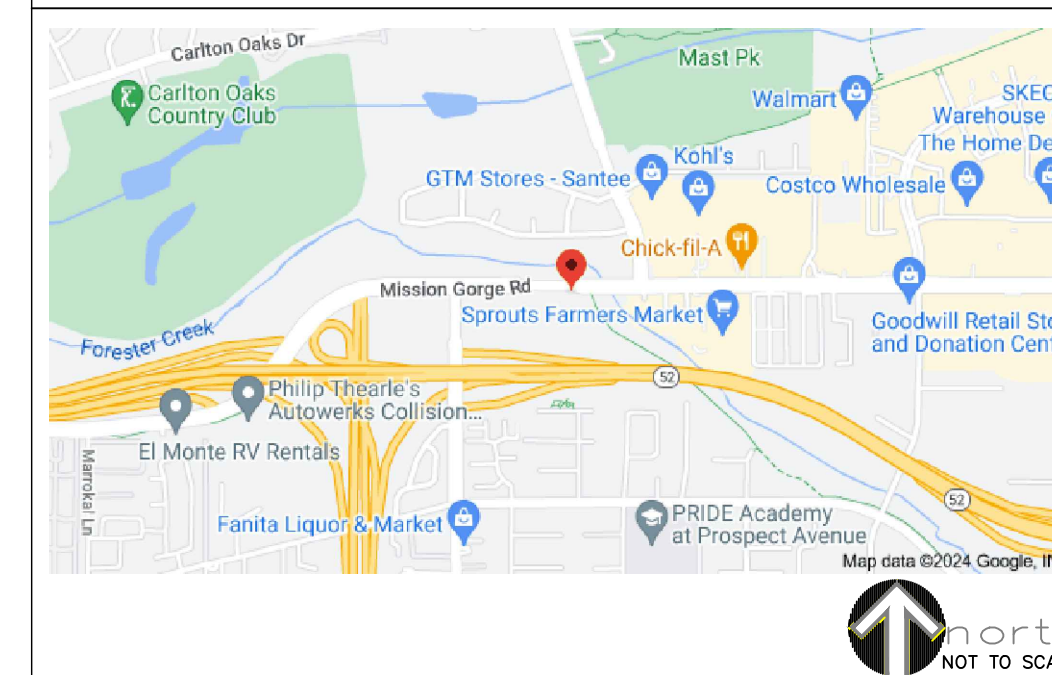
TRAFFIC CONSULTANT: LIN Consulting, Inc.
1432 Edinger Ave, Suite 230
Tustin, CA 92780-6293
Tel: (714) 258-8411

DRAWING INDEX

ARCHITECTURAL

TS TITLE SHEET
C1 CIVIL DRAWINGS TITLE SHEET
C2 TOPOGRAPHIC SURVEY
C3 GRADING PLAN
C4 BMP
A1 EXISTING SITE PLAN
A2 PROPOSED NEW SITE PLAN
A3 PROPOSED NEW FLOOR PLAN
A4 ELEVATIONS
A5 ELEVATIONS, SECTION A-A
A6 ROOF PLAN
A7 TRASH ENCLOSURE, LIGHT POLE DETAILS.
E1 PHOTOMETRIC STUDY PLAN
L1 LANDSCAPING CONCEPT PLAN
L1.1 HYDRO-ZONE MAP AND WATER CALCS.

VICINITY MAP



PROJECT CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CURRENT CALIFORNIA STATE CODES:
2022 CALIFORNIA BUILDING CODE, TITLE 24, PART 2, VOLUME I
2022 CALIFORNIA BUILDING CODE, TITLE 24, PART 2, VOLUME II
2022 CALIFORNIA ELECTRICAL CODE, TITLE 24, PART 3
2022 CALIFORNIA MECHANICAL CODE, TITLE 24, PART 4
2022 CALIFORNIA PLUMBING CODE, TITLE 24, PART 5
2022 CALIFORNIA ENERGY CODE, TITLE 24, PART 6
2022 CALIFORNIA FIRE CODE, TITLE 24, PART 9
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, PART 11

DEFERRED SUBMITTALS

THE FOLLOWING ARE PROPOSED DEFERRED SUBMITTAL:

- AUTOMATIC FIRE SPRINKLER SYSTEM
- SPRINKLER MONITORING SYSTEM
- PRIVAT FIRE SERVICE MAIN.

DEFERRED SUBMITTALS PACKAGES, SHALL BE SUBMITTED FOR PLAN REVIEW BY THE PROFESSIONAL OR SUB-CONTRACTOR RESPONSIBLE FOR THEIR PREPARATION.

DEFERRED SUBMITTALS PACKAGES, IN ADDITION TO THE SEAL OF RESPONSIBLE ENGINEER, SHALL BEAR THE SHOP DRAWING APPROVAL STAMPS OF THE PROJECT ARCHITECT, ENGINEER OF RECORD AND GENERAL CONTRACTOR ON EACH SHEET.

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECK DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS.

SIGNS

ALL SIGNS, INCLUDING THE PROPOSED POLE SIGN, SHALL BE APPROVED UNDER A SEPARATE SIGN PERMIT.

PROJECT PUBLIC UTILITIES

WATER & SEWER PADRE DAM MUNICIPAL WATER DISTRICT
9300 FANITA PKWY,
SANTEE, CA 92071
(619) 258-4600

GAS AND ELECTRIC SAN DIEGO GAS & ELECTRIC
(800) 227-2600

TELEPHONE AT & T
(800) 750-2355

FIRE DEPARTMENT NOTES

1. THIS PROJECT IS NOT WITHIN THE FIRE HAZARD SEVERITY ZONE.

OCCUPANCY AREA CALCULATION

SPACE	AREA (SF)	O.L. FACTOR	OCCUPANT LOAD
GROSS AREA	1,898 SF	60	32

PROJECT DATA

PROJECT NAME: SANTEE TRILSIDE
QUICK SERVICE DRIVE-THRU. RESTAURANT

PROJECT ADDRESS: 9207 MISSION GORGE RD.
SANTEE, CA 92071

APN 383-124-52-00

LEGAL DESC. THAT PORTION OF LOT 2 IN BLOCK "A" OF FANITA RANCHO, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 688 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, OCTOBER 22, 1891

APPLICANT: LAWRENCE RAFOU
3974 SPRING DR.
SPRING VALLEY, CA. 91977
(619) 871-4449

OWNER: PRIMO DEVELOPERS LLC
3974 SPRING DR.
SPRING VALLEY, CA. 91977
(619) 871-4449

ARCHITECT: HAGMAN & ASSOCIATES
7061 PRINCESS VIEW DR.
SAN DIEGO, CA. 92120
TEL: (619) 298-8058
PARIS HAGMAN, ARCHITECT

BASE ZONE: GC (GENERAL COMMERCIAL)

EXISTING USE: CAR DEALERSHIP

PROPOSED USE: DRIVE-THRU QUICK SERVICE RESTAURANT

TYPE OF CONSTRUCTION: VB (SPRINKLERED)

OCCUPANCY: DRIVE-THRU M
RETAIL LEASE SPACE M

OCCUPANT LOAD: 33 (SEE TABULATION LOWER-RIGHT THIS SHT.)

HOURS OF OPERATION: TO BE DETERMINED

AREAS: LOT AREA: PARCEL 52 2.02 AC. 2.0 AFTER DEDICATION.

BUILDING AREAS:	EXISTING CAR DEALERSHIP TO BE DEMOLISHED	1,000 SF
	NEW QUICK SERVICE DRIVE-THRU. RESTAURANT	1,898 SF GR.
TOTAL NEW BUILDING AREA		1,898 SF GR.
	EXISTING 2- RESIDENTIAL UNITS (NOT A PART)	2,206 SF

NUMBER OF STORIES:	ONE STORY (SPRINKLERED)
F.A.R./	4104 SF /87120 SF = 0.47 MAX. ALLOWED 1.0
MAX. HT.	BUILDING MAX. HT. 20'-0" WITH SCREENING PARAPETS 24'-0"
OFF-STREET PARKING:	REQUIRED FOR 1,898 SF AREA: 1/100 SF= 19 TOTAL REQUIRED PARKING SPACES: 19
OFF-STREET PARKING:	PROVIDED: STANDARD 14 ACCESSIBLE EV CHARGING STATIONS 1 REGULAR EV CHARGING STATIONS 2 ACCESSIBLE DISABLED STALLS 2 TOTAL ON-SITE PARKING PROVIDED 19
NUMBER OR QUEUING SPACES =	15
NUMBER OR BICYCLE RACKS =	3
AREA OF LANDSCAPING:	(SEE SHEET L1 AND L1.1 FOR DETAILED CALCULATIONS)

SCOPE OF WORK

- DEMOLITION OF EXISTING SINGLE STORY CAR DEALERSHIP BUILDING (1000 SF)
- CONSTRUCTION OF A NEW ONE-STORY DRIVE-THRU QUICK SERVICE RESTAURANT (1,898 SF GROSS AREA). TYPE OR FRANCHISEE TO BE DETERMINED
- CONSTRUCTION OF A NEW COVERED TRASH ENCLOSURE PER CITY'S WASTE MANAGEMENT REGULATIONS.
- PROVISION OF LANDSCAPING AREAS PER CITY'S LANDSCAPING ORDINANCE.
- PROVISION OF 19 PARKING STALLS INCLUDING 2- ACCESSIBLE STALLS AND 3-EV SPACES AS SHOWN ON SITE PLAN.
- PROVISION OF 15 QUEUING SPACES FOR APPROACH TO DRIVE-THRU PICK-UP WINDOW.

EXISTING 2-RESIDENTIAL UNITS LOCATED ON THE SUBJECT PARCEL IS NOT A PART OF THE PROPOSED PROJECT. THE EASEMENT ROAD LEADING TO THIS RESIDENCE REMAIN.

QUEUING STUDY

NATURE OF PRODUCT OR SERVICE BEING OFFERED:
THE PROJECT PROPOSES A QUICK-SERVE RESTAURANT WITH INDOOR AND OUTDOOR SITTING AREAS TO PROVIDE MOSTLY DRIVE-THRU. SERVICE WITH A 15-QUEUING SPACE PROVIDED.

METHOD BY WHICH THE ORDER IS PROCESSED:
FOR DRIVE-THRU. THE ORDER IS PLACED AT 5-STACKING SPACES PRIOR TO REACHING THE PICK-UP WINDOW. IT IS ANTICIPATED THAT BY THE TIME A VEHICLE REACHES THE PICK-UP WINDOW, THE ORDER IS PROCESSED AND READY FOR PICK-UP.
INSIDE THE RESTAURANT, THE ORDER IS PLACED IN PERSON, AND THE FOOD OR DRINK IS EITHER TAKEN OUT OR CONSUMED AT THE INDOOR OR OUTDOOR SITTING AREAS.

TIME REQUIRED TO SERVE A TYPICAL CUSTOMER:
BASED ON A SURVEY OF SIMILAR FACILITIES, FOR THRU. CUSTOMERS, THE TIME REQUIRED TO SERVE A TYPICAL CUSTOMER IS LESS THAN TEN MINUTES.

ARRIVAL RATE OF CUSTOMERS:
AT THE PEAK HOURS, ARRIVAL RATE OF THE DRIVE-THRU. CUSTOMERS ARE ESTIMATED TO BE ONE PARTY EVERY TEN MINUTES.
FOR OFF-PEAK HOURS, THE RATE IS ESTIMATED TO DROP TO ONE PARTY EVERY FIFTEEN MINUTES.

PEAK DEMAND HOURS:
BREAKFAST HOURS: 8:00-10:00 AM, FOR LUNCH, 12:00 PM TO 2:00 PM, AND FOR DINNER, THE PEAK HOURS IS 5:00-8:00 PM

ANTICIPATED VEHICULAR STACKING REQUIRED AT PEAK HRS:
AT PEAK HOURS, FOR EVERY ORDER PREPARED, ONE STACKING SPACE BECOMES AVAILABLE FOR THE NEXT CAR. THE TIME FOR PREPARING A TYPICAL ORDER IS LESS THAN 10 MINUTES, AND THE EXPECTED ARRIVAL OF A NEW VEHICLE IS EVERY 10 MINUTES, THEREFORE THE PROPOSED 15-STACKING SPACES ARE DEEMED TO BE MORE THAN SUFFICIENT.

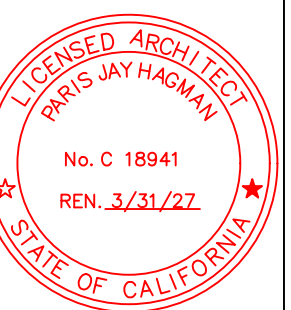
NOISE SPECIFICATION FOR OUTDOOR SPEAKER

THE SPEAKER SYSTEM AT THE ORDER MENU LOCATION IS THE ONLY SOURCE OF AUDIBLE NOISE AT THE SITE. THE SYSTEM LOCATED NEAR THE CENTER OF THE SITE AT THE REAR OF THE BUILDING, FACING AWAY FROM PUBLIC RIGHT OF WAY. THE IMPACT OF THE SYSTEM IS REDUCED CONSIDERABLY FOR PROPERTIES BEHIND THE SITE DUE TO A 8' HIGH CONCRETE RETAINING WALL. FURTHERMORE, ALL ADJACENT PROPERTIES ARE ZONED COMMERCIAL AND THE ONLY RESIDENTIAL USE IS ON THE REAR OF THE SAME PARCEL, ABOUT 120' AWAY FROM THE SPEAKER SYSTEM.

CONSIDERING THE ABOVE FACTORS, A SPEAKER SOUND LEVEL OF MAX. 15dB ABOVE THE AMBIENT NOISE IS SPECIFIED FOR A CAR AT A MAX. DISTANCE OF 8' FROM THE SPEAKER. THE AMBIENT NOISE LEVEL AT THIS SITE IS ASSUMED TO BE 50-60 dBA AT THE ROADWAY (BASED ON CALTRANS DATA FOR A TYP. ARTERIAL ROAD). BUT SINCE THE SPEAKER SYSTEM IS 100 FT. FROM THE SIDEWALK, THE AMBIENT NOISE IS ASSUMED TO BE NO MORE THAN 50 dBA, THEREFORE THE MAX. SOUND SPECIFICATION FOR THE SPEAKER SYSTEM IS PROPOSED TO BE NO MORE THAN 65 dB (THIS IS DEEMED ACCEPTABLE FOR COMMERCIAL ZONES).

REVISIONS	BY
7/14/25	ph
10/20/25	ph

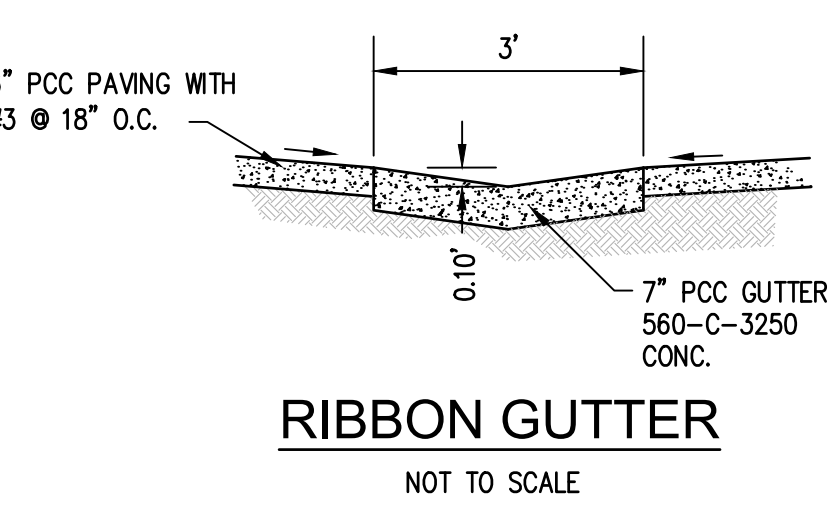
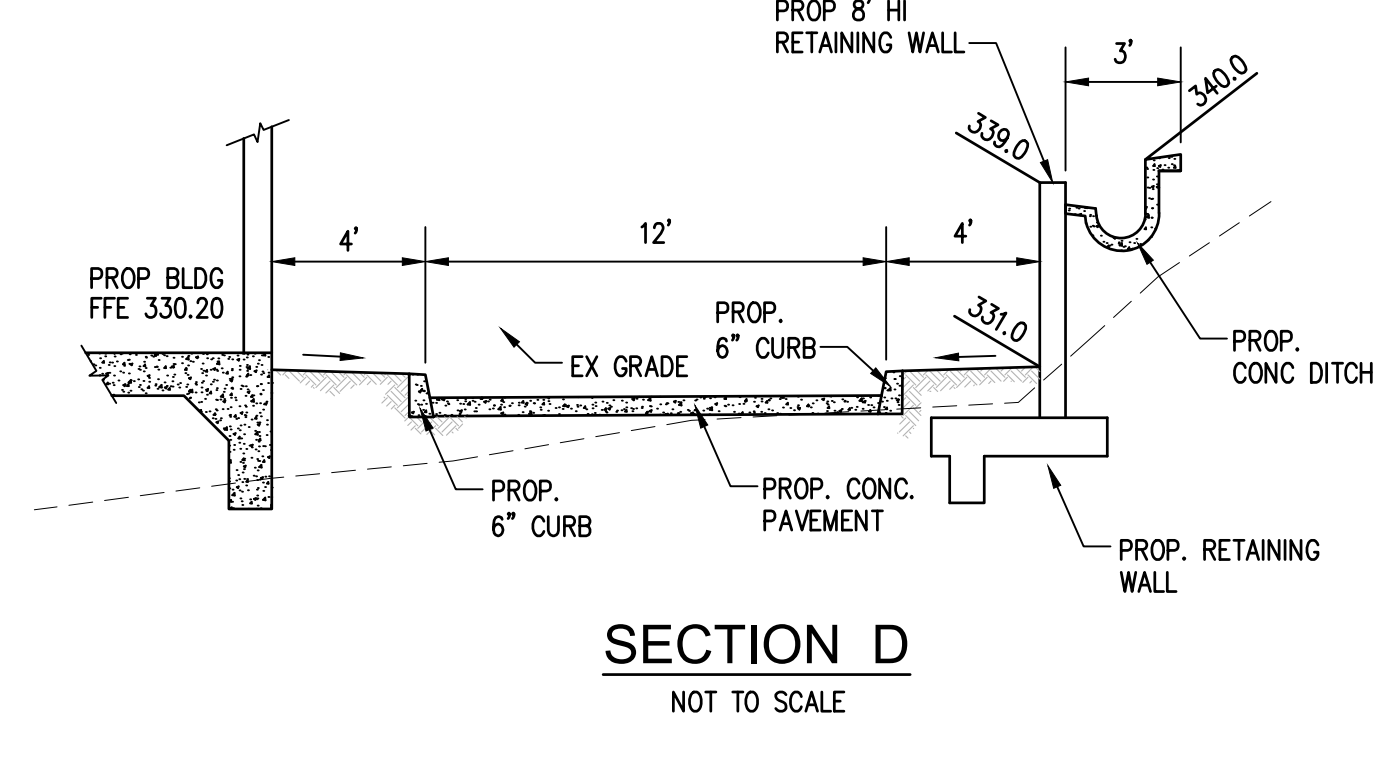
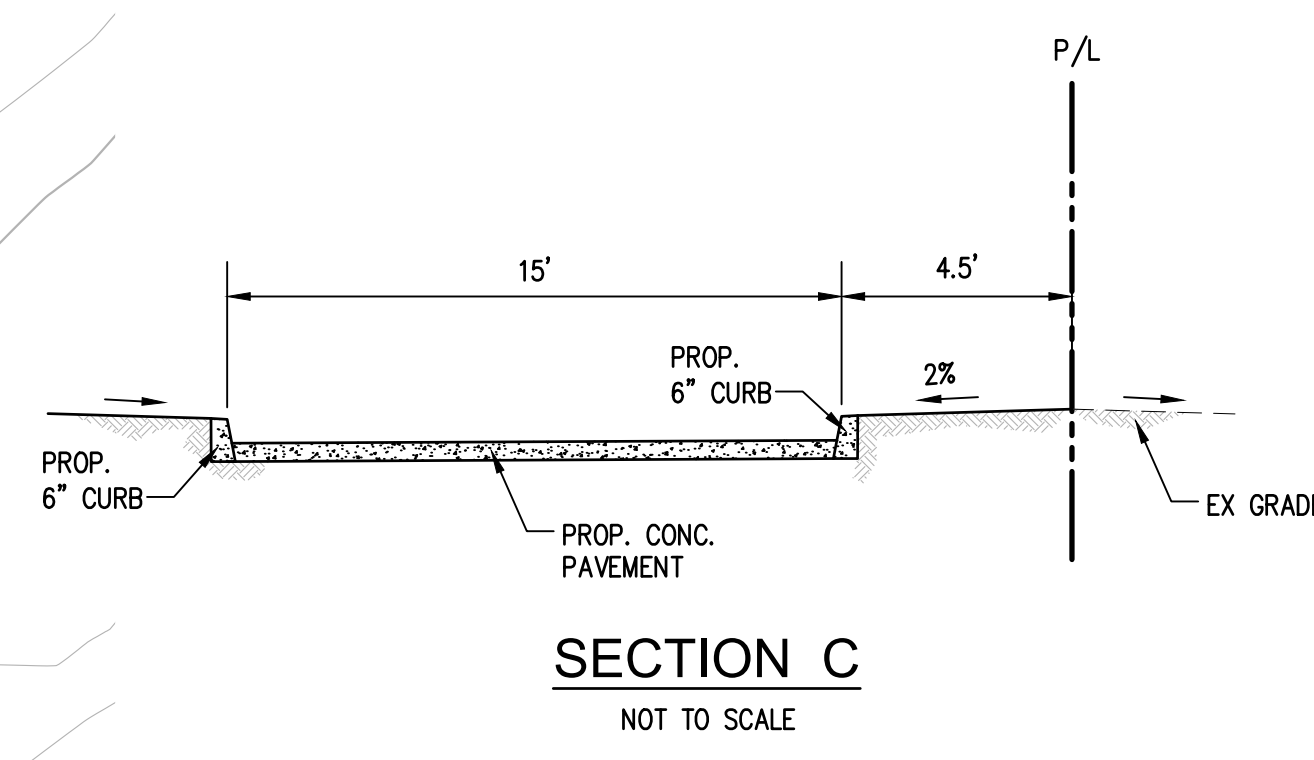
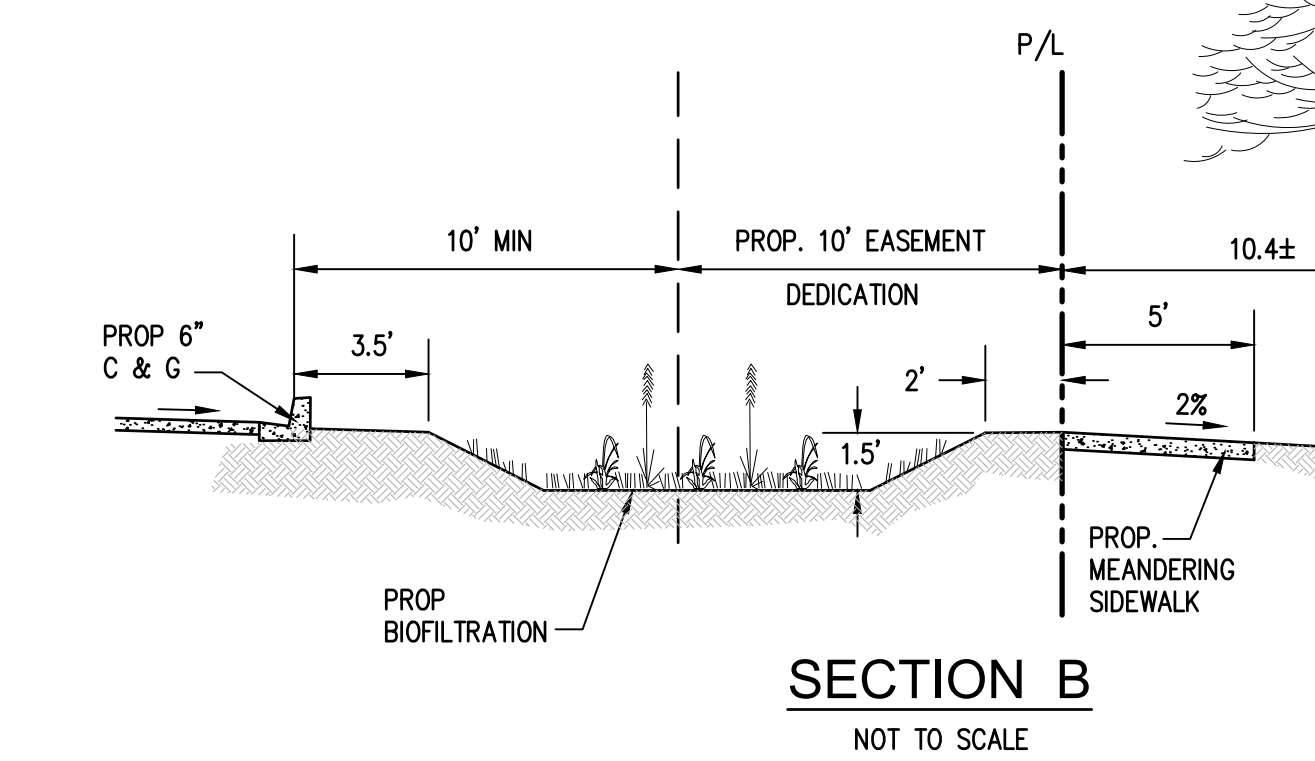
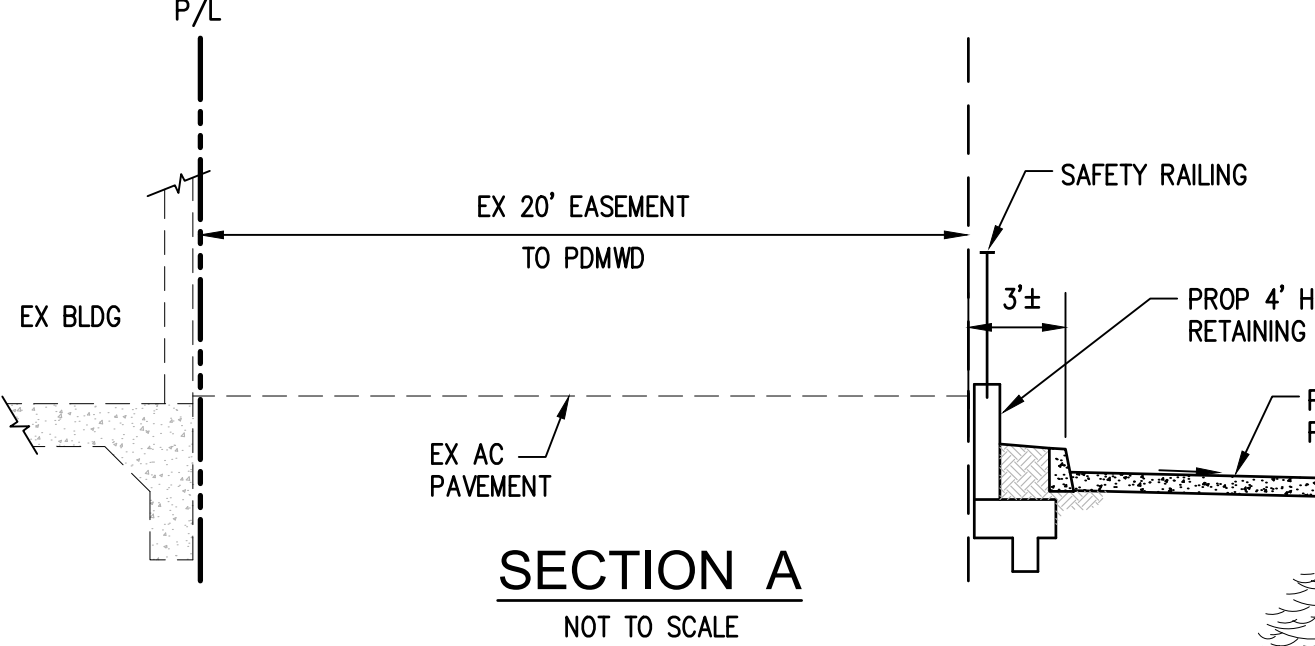
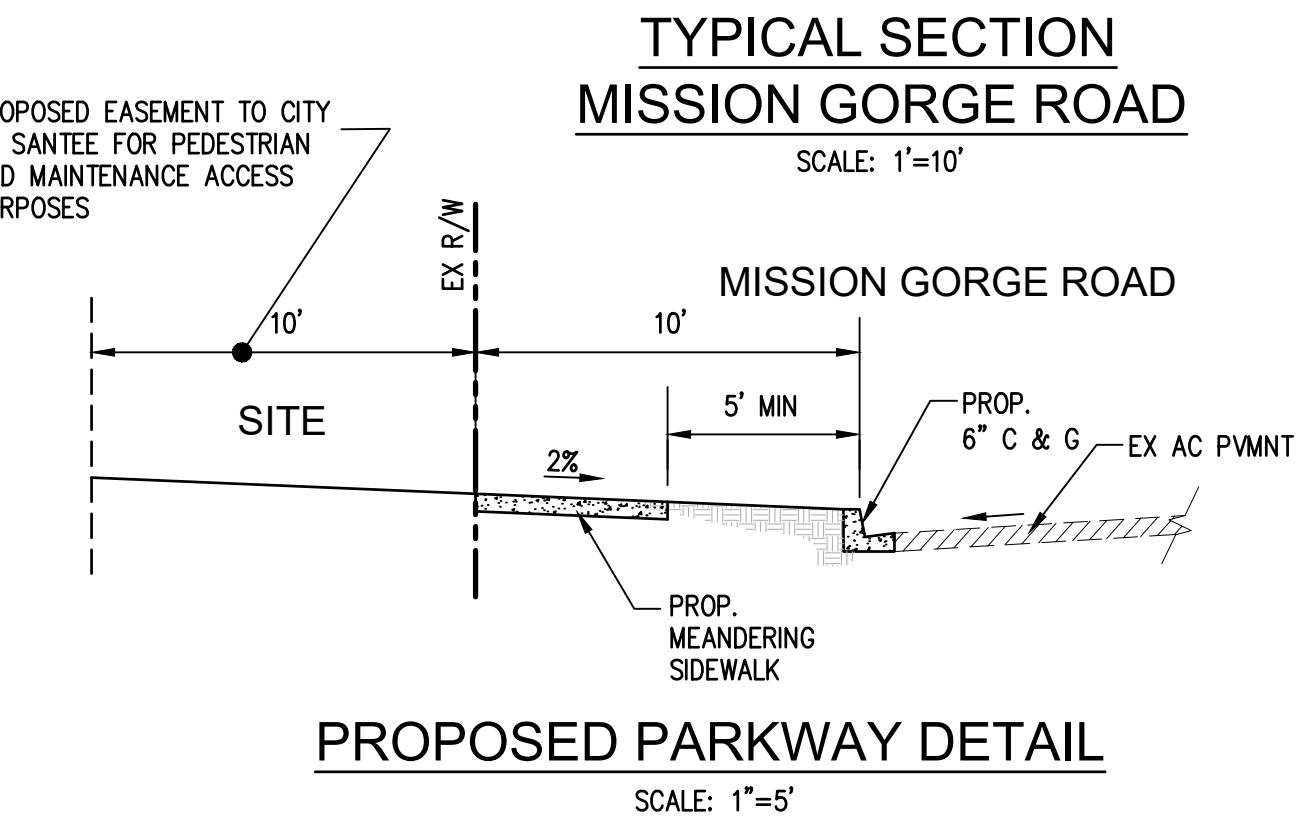
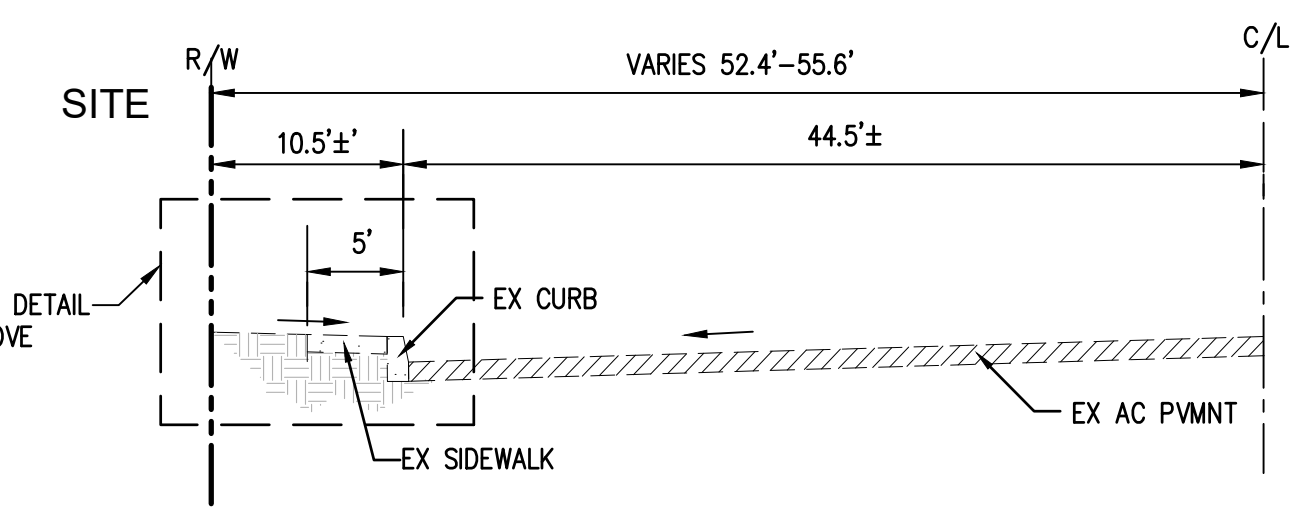
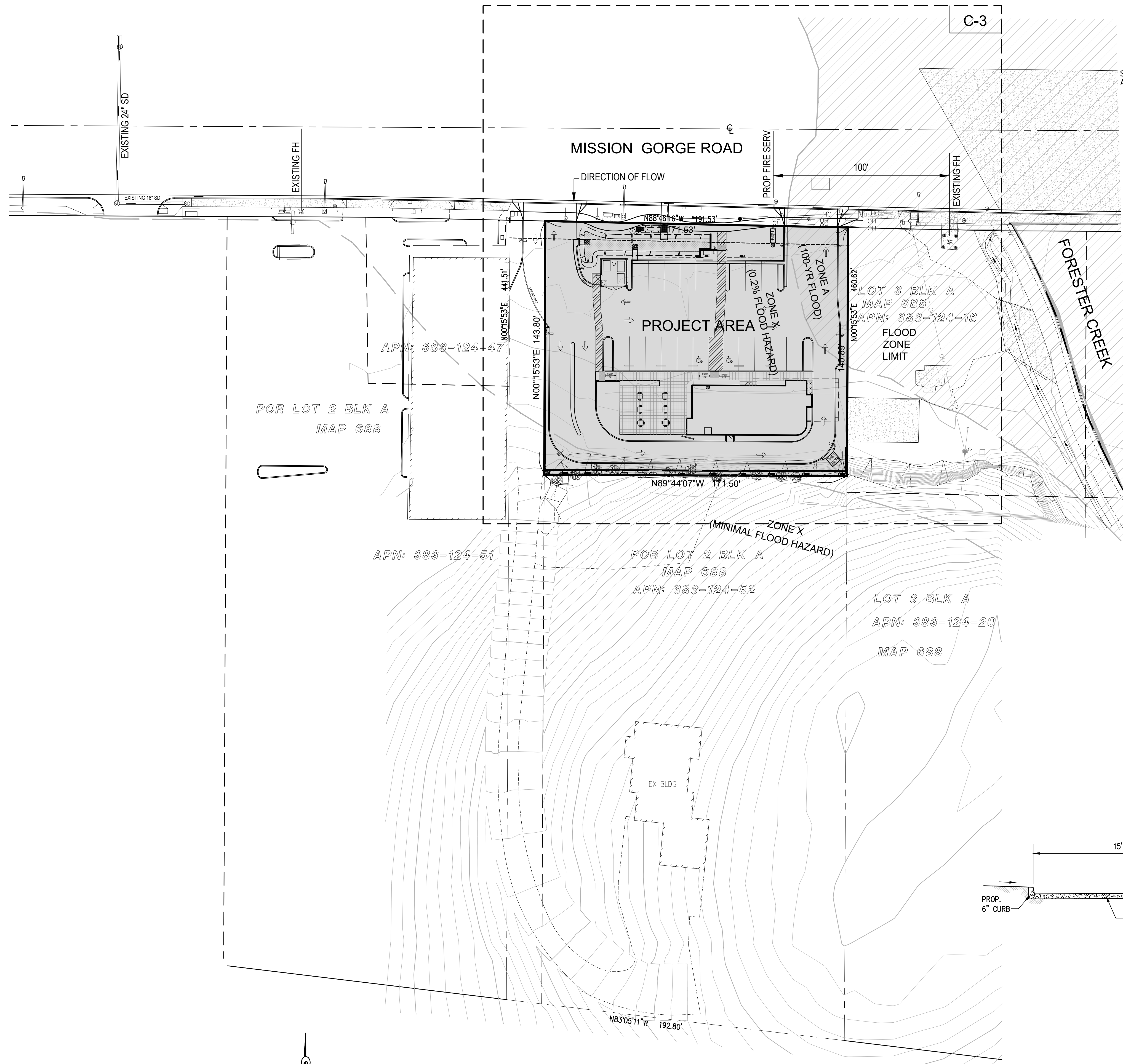
HAGMAN & ASSOCIATES
ARCHITECTURE & PLANNING
7061 PRINCESS VIEW DR. SAN DIEGO, CA 92120
(619) 298-8058



NEW DRIVE-THRU. QUICK SERVICE RESTAURANT
9207 MISSION GORGE RD. SANTEE, CA 92071

DATE:
Scale
Drawn
Job

TS



KEY MAP

SCALE: 1"=30'

SITE ADDRESS

9207 MISSION GORGE ROAD
SANTEE, CA 92074

TOPOGRAPHY

SURVEY BY:
K & S ENGINEERING, INC
7801 MISSION CENTER COURT, SUITE 100
SAN DIEGO, CA 92108
DATED: JUNE 30, 2024

BENCH MARK

DESCRIPTION: P.T. #2027 ROS 11252 STD ST SURVEY MONUMENT
LOCATION: CL PLACID VIEW DRIVE AT SIDELINE OF PROSPECT AVENUE
ELEVATION: 360.40' DATUM: MEAN SEA LEVEL (NGVD29)

OWNER/DEVELOPER

PRIMO DEVELOPERS LLC
3974 SPRING AVENUE
SPRING VALLEY, CA 91977
(619) 871-4449
CONTACT: LAWRENCE RAFOU
LAWRENCERAFOU@YAHOO.COM

LEGAL DESCRIPTION

PORTION OF LOT 2 OF BLOCK "A" OF FANITA RANCHO OF MAP NO. 688

APN:

383-124-52

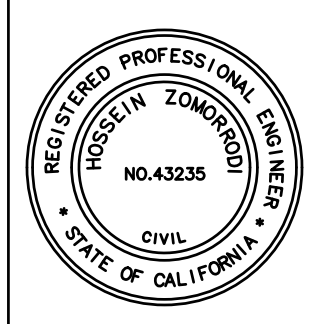
LOT AREA:

GROSS AREA= 86,379 SQ. FT. / 1.983 ACRES
PROJECT AREA= 23,983 SQ. FT. / 0.550 ACRES

DISTURBED AREA

TOTAL DISTURBED AREA: 0.596 ACRES 25,987 SQ. FT. (ONSITE)
0.553 ACRES 24,107 SQ. FT. (ONSITE)
0.043 ACRES 1,880 SQ. FT. (WITHIN THE ROW)

REVISIONS	BY



K & S ENGINEERING, INC.
Planning · Engineering · Surveying
7801 Mission Center Court, Suite 100, San Diego, CA 92108
(619) 296-5565 Fax: (619) 296-5564

**SANTEE TRAILSIDE
NEW DRIVE-THRU. QUICK SERVICE RESTAURANT**

9207 MISSION GORGE ROAD, SANTEE, CA 92071

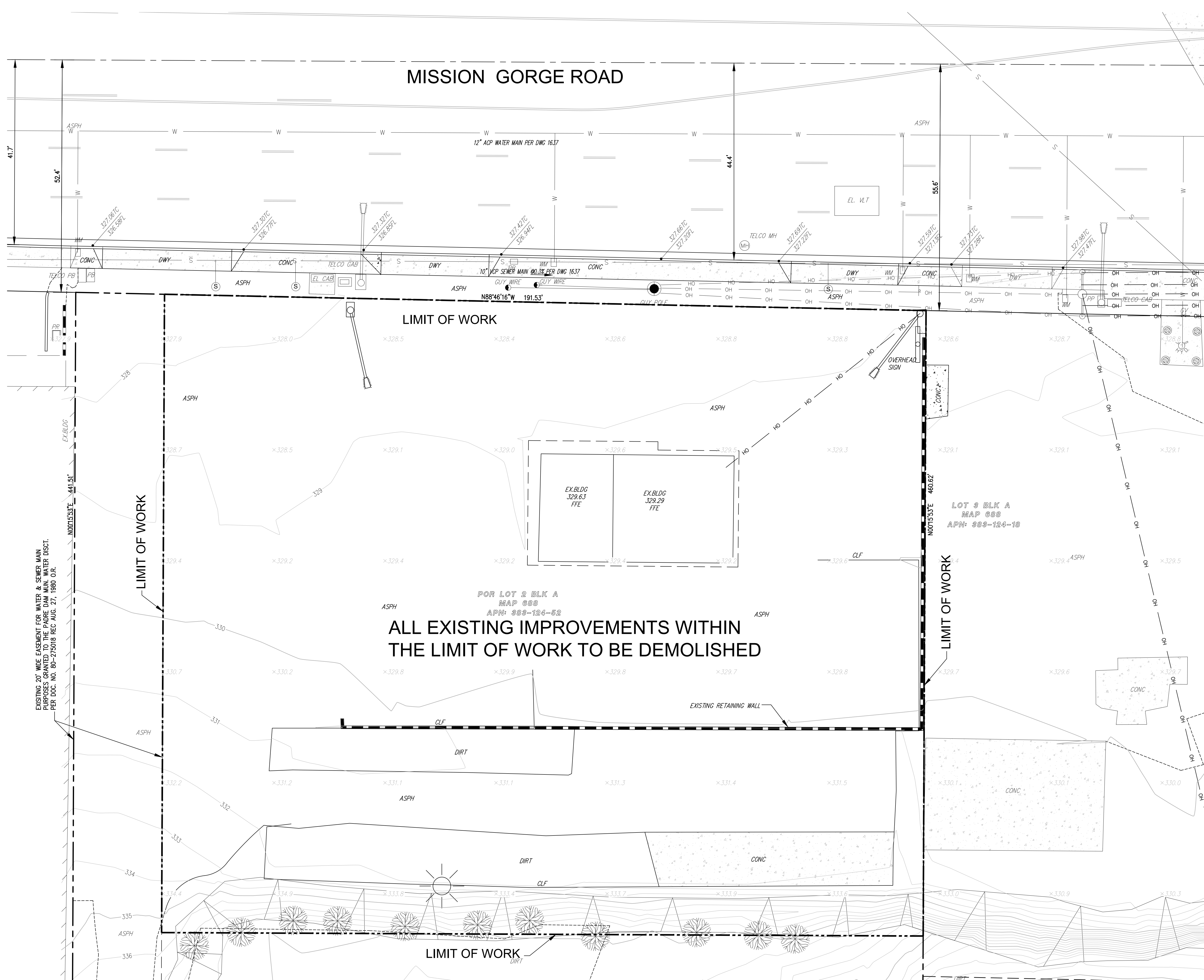
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Scale:
Drawn:
Job: 24-036
PA-2025-0004

C-1

TITLE SHEET

SHEET INDEX:

TITLE SHEET	C-1
TOPOGRAPHIC SURVEY PLAN	C-2
GRADING PLAN	C-3
BEST MANAGEMENT PLAN	C-4



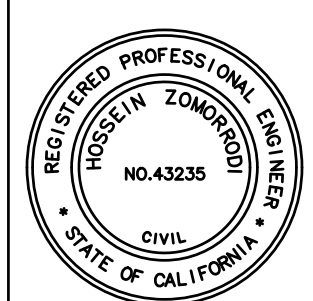
LEGEND

EXISTING ITEM	SYMBOL
INDICATES PROPERTY BOUNDARY	---
CENTER LINE	---
SPOT ELEVATION	• 327.98TC 327.47FL
SEWER MAIN AND MANHOLE	— S —
CONCRETE SURFACE	[Stippled pattern]
WATER MAIN	— W —
SEWER MAIN	— S —
MASONRY RETAINING WALL	[Hatched pattern]
SEWER MANHOLE	(MH)
STORM DRAIN MANHOLE	(SD)

ABBREVIATIONS

ASPH	ASPHALT CEMENT
BLDG	BUILDING
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DWY	DRIVEWAY
EL	ELEVATION
EX	EXISTING
FFE	FINISH FLOOR ELEVATION
FL	FLOW LINE
LAT	LATERAL
MH	MANHOLE
OH	OVERHEAD ELECTRIC
TC	TOP OF CURB
TRANS	ELECTRIC TRANSFORMER
PB	PULL BOX
PED	PEDESTAL
P/L	PROPERTY LINE
R/W	RIGHT OF WAY
VLT	VAULT
WM	WATER METER

REVISIONS	BY

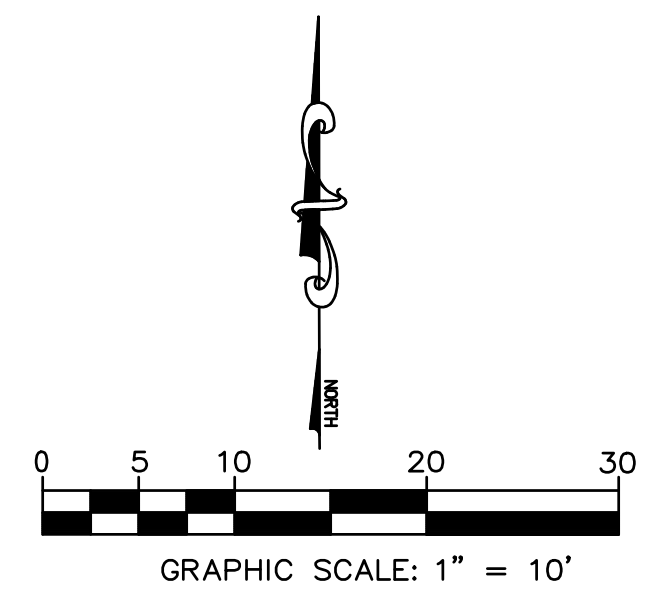


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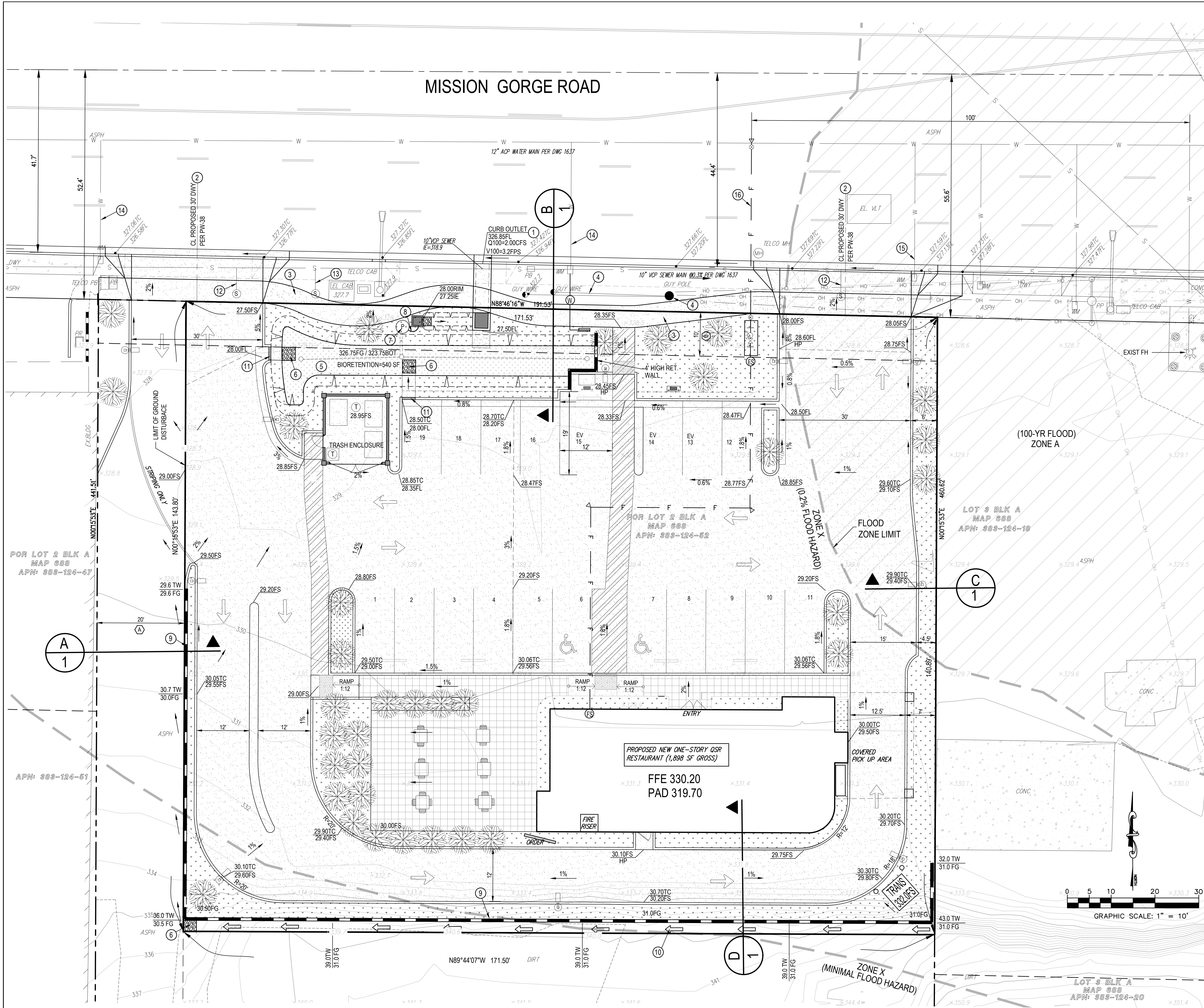
SANTEE TRAILSIDE
NEW DRIVE-THRU. QUICK SERVICE RESTAURANT
 9207 MISSION GORGE ROAD, SANTE, CA 92071

Date: 12/08/25
 Scale:
 Drawn:
 Job: 24-036
 PA-2025-0004

TOPOGRAPHIC SURVEY



EXISTING 20' WIDE EASEMENT FOR WATER & SEWER MAIN PURPOSES GRANTED TO THE PADRE DAM MUN. WATER DISCT. PER DOC. NO. 80-275018 REC AUG. 27, 1980 O.R.



LEGEND

PROPOSED ITEM

INDICATES PROPERTY BOUNDARY

HANDICAP RAMP

CURB OUTLET TYPE A, PER SDRSD D-25A

DRIVEWAY PER PW-38

SIDEWALK PER SDRSD G-07

BIORETENTION FACILITY

RIP RAP ENERGY DISSIPATER PER SDRSD D-40

SUMP PUMP

RETAINING WALL TYPE 2, PER SDRSD C-02

CONCRETE BROW DITCH TYPE B, PER SDRSD D-75

CURB AND GUTTER TYPE G, PER SDRSD G-052

LANDSCAPE

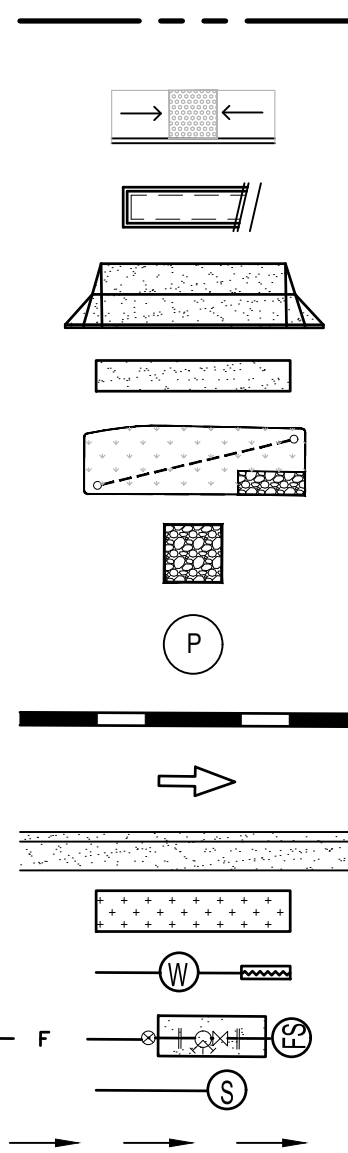
WATER SERVICE

FIRE SERVICE

SEWER LATERAL

DIRECTION OF FLOW

SYMBOL



LOT AREA:

GROSS AREA= 86,379 SQ. FT. / 1.983 ACRES
PROJECT AREA= 24,413 SQ. FT. / 0.560 ACRES

EASEMENT NOTE:

AN EASEMENT FOR SEWER LINES AND APPURTENANCES AND RIGHTS INCIDENTAL THERETO, AS GRANTED TO SANTEE COUNTY WATER DISTRICT RECORDED IN BOOK 7244, PAGE 149 OF O.R.
EASEMENT LOCATION CAN NOT BE PLOTTED FROM RECORD INFORMATION AND NOT SHOWN ON ALL PREVIOUSLY RECORDED MAPS, IE PM 11911

- (A) EXISTING 20' WIDE EASEMENT FOR WATER & SEWER MAIN PURPOSES GRANTED TO THE PADRE DAM MUN. WATER DISCT. PER DOC. NO. 80-275018 REC AUG. 27, 1980 O.R.
- (B) PROPOSED EASEMENT TO CITY OF SANTEE FOR PEDESTRIAN AND MAINTENANCE ACCESS PURPOSES

CONSTRUCTION NOTES:

- 1) CONSTRUCT CURB OUTLET
- 2) CONSTRUCT 30' WIDE DRIVEWAY PER PW-38
- 3) CONSTRUCT MEANDERING 5' WIDE SIDEWALK
- 4) EXISTING OVERHEAD UTILITY, POWER POLE AND GUY WIRE TO REMAIN.
- 5) CONSTRUCT BIORETENTION FACILITY PER DETAIL SHEET C-4
- 6) CONSTRUCT RIP RAP ENERGY DISSIPATOR
- 7) CONSTRUCT SUMP PUMP AND ENCLOSURE RIM=328.00, IE=320.75
- 8) CONSTRUCT 2" PVC FORCED PIPE
- 9) CONSTRUCT RETAINING WALL 8' MAX HEIGHT
- 10) CONSTRUCT CONCRETE BROW DITCH
- 11) INSTALL TRASH CAPTURE DEVICE MODEL TDM36(5) PERF-FTC (36"x5") BY REM TRITON OR EQ.
- 12) EXISTING SEWER LATERAL TO REMAIN
- 13) EXISTING SEWER LATERAL TO BE ABANDONED
- 14) EXISTING WATER SERVICE TO REMAIN
- 15) EXISTING WATER SERVICE TO BE KILLED
- 16) CONSTRUCT FIRE SERVICE WITH BACKFLOW PREVENTER

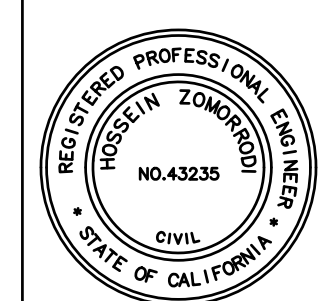
GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:
AREA 24,413, % OF TOTAL SITE 28
AMOUNT OF CUT: 1,200 CUBIC YARDS
MAXIMUM DEPTH OF CUT: 10
AMOUNT OF FILL: - CUBIC YARDS
MAXIMUM DEPTH OF FILL: - FEET
MAXIMUM HEIGHT OF FILL SLOPE: - FEET. 2:1 SLOPE RATIO.
MAXIMUM HEIGHT OF CUT SLOPE: - FEET. 2:1 SLOPE RATIO.
EXPORT SOIL: 1,200 CUBIC YARDS

RETAINING WALL:
MASONRY: LENGTH 290 FEET. MAXIMUM HEIGHT 8 FEET.

EARTHWORK QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE, LOSSES DUE TO CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR SHOULD VERIFY QUANTITIES PRIOR TO BIDDING.

REVISIONS	BY



K & S ENGINEERING, INC.
Planning · Engineering · Surveying
7801 Mission Center Court, Suite 200, San Diego, CA 92108
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**SANTEE TRAILSIDE
NEW DRIVE-THRU. QUICK SERVICE RESTAURANT**
9207 MISSION GORGE ROAD, SANTEE, CA 92071

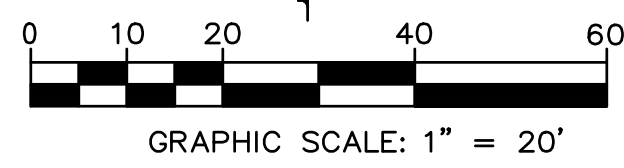
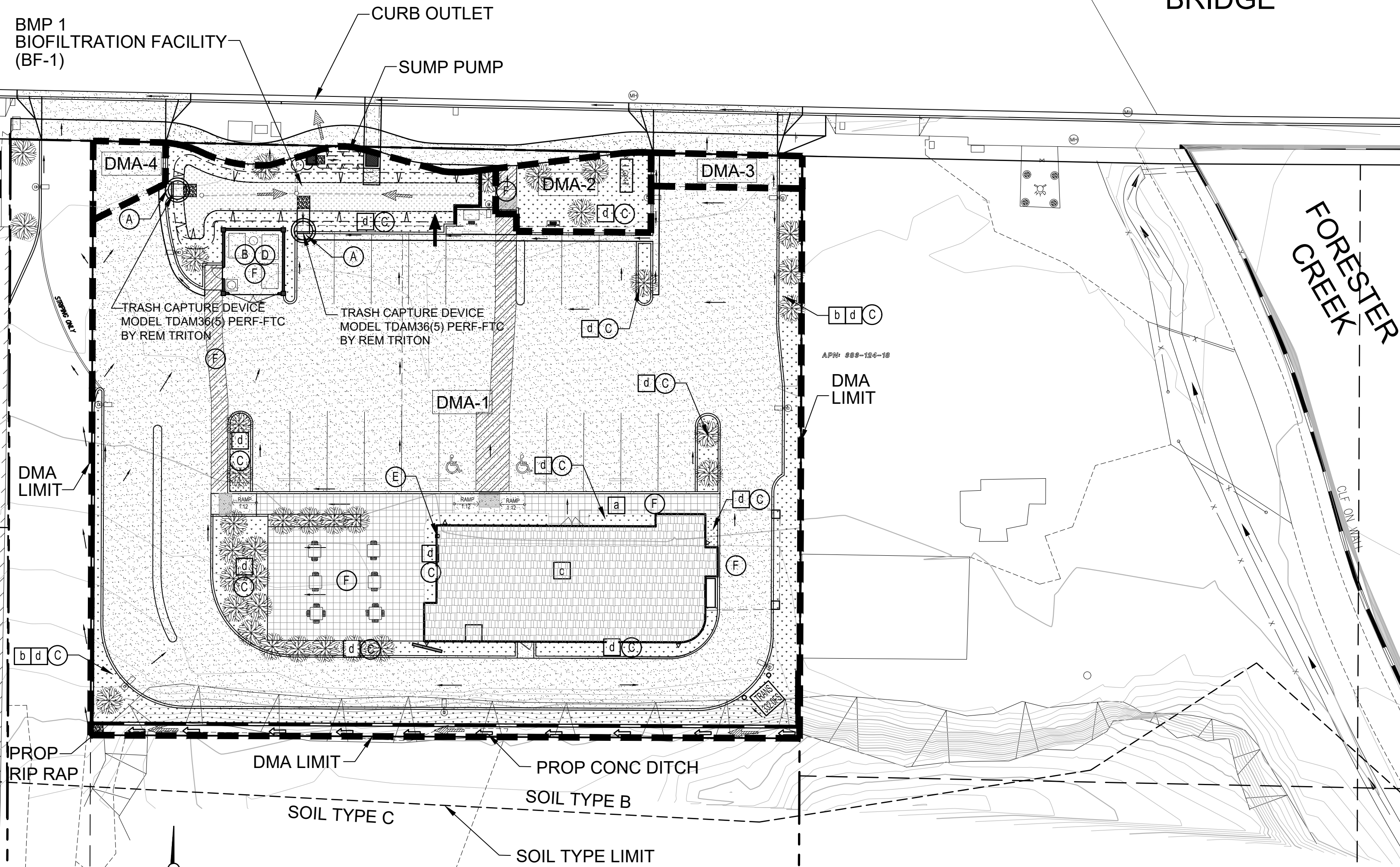
Date: 12/08/25
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Drawn:
Job: 24-036
PA-2025-0004
C-3

GRADING PLAN

MISSION GORGE ROAD

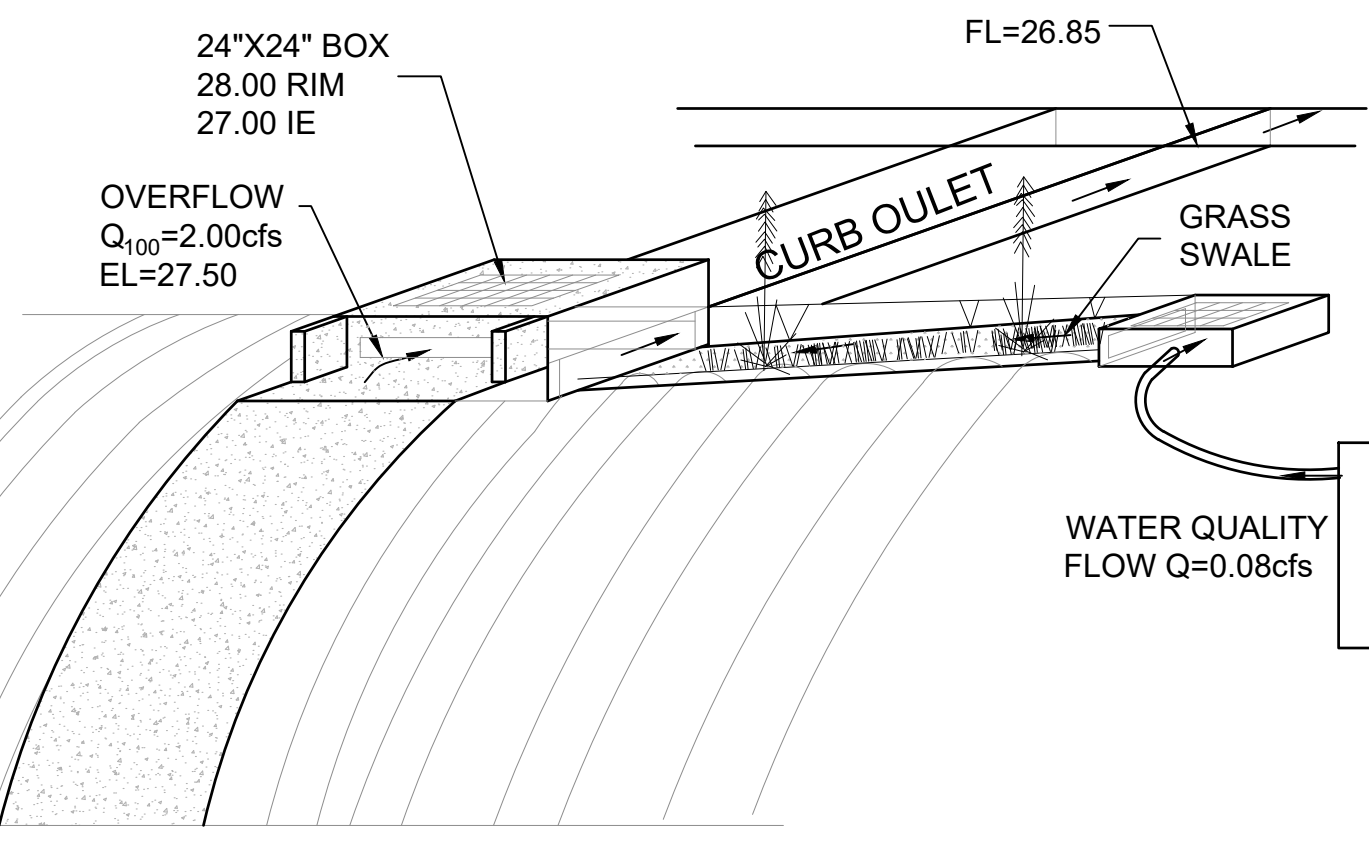
BRIDGE

FORESTER CREEK

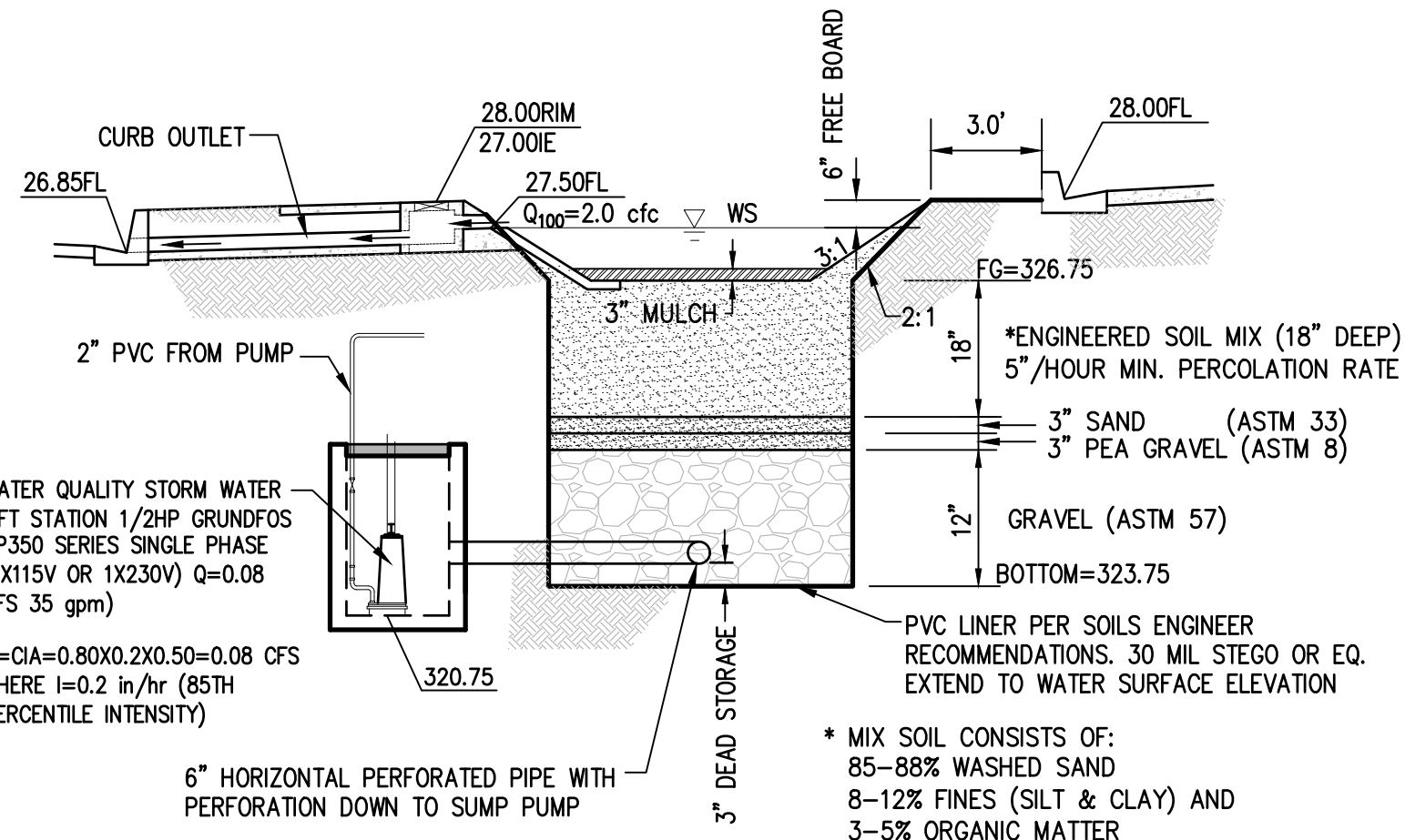


BMP DATA (PREFERRED)

BMP	AREA (SF)	DIMENSION (FT)	FINISH GRADE	BOTTOM ELEVATION	WSE
1	540	67.0x8.0	326.75	323.75	327.50



DETAIL OUTLET STRUCTURE
NOT TO SCALE



BMP-1
BIOFILTRATION FACILITY DETAIL BF-1
(NO INFILTRATION)
NOT TO SCALE

MEASURES TO ACCESS THE STRUCTURAL BMP

1. THE BMP MUST BE ACCESSIBLE TO EQUIPMENT NEEDED FOR MAINTENANCE. ACCESS REQUIREMENTS FOR MAINTENANCE WILL VARY WITH THE TYPE OF FACILITY SELECTED.
2. INFILTRATION BMPs, BIOFILTRATION BMPs AND MOST ABOVE-GROUND DETENTION BASINS AND SAND FILTERS WILL TYPICALLY REQUIRE ROUTINE LANDSCAPE MAINTENANCE USING THE SAME EQUIPMENT THAT IS USED FOR GENERAL LANDSCAPE MAINTENANCE. AT TIMES THESE BMPs MAY REQUIRE EXCAVATION OF CLOGGED MEDIA (E.G. BIORETENTION SOIL MEDIA, OR SAND FOR THE SAND FILTER), AND SHOULD BE ACCESSIBLE TO APPROPRIATE EQUIPMENT FOR EXCAVATION AND REMOVAL/REPLACEMENT OF MEDIA.
3. ABOVE-GROUND DETENTION BASINS SHOULD INCLUDE ACCESS RAMPS FOR TRUCKS TO ENTER THE BASIN TO BRING EQUIPMENT AND TO REMOVE MATERIALS.
4. UNDERGROUND BMPs SUCH AS DETENTION VAULTS, MEDIA FILTERS, OR GROSS POLLUTANT SEPARATORS USED AS FOREBAYS TO OTHER BMPs, TYPICALLY REQUIRE ACCESS FOR A VACTOR TRUCK TO REMOVE MATERIALS PROPRIETARY BMPs SUCH AS MEDIA FILTERS OR GROSS POLLUTANT SEPARATORS MAY REQUIRE ACCESS BY A FORKLIFT OR OTHER TRUCK FOR DELIVERY AND REMOVAL OF MEDIA CARTRIDGES OR OTHER INTERNAL COMPONENTS. ACCESS REQUIREMENTS MUST BE VERIFIED WITH THE MANUFACTURER OF PROPRIETARY BMPs.
5. VACTOR TRUCKS ARE LARGE, HEAVY, AND DIFFICULT TO MANEUVER. STRUCTURAL BMPs THAT ARE MAINTAINED BY VACTOR TRUCK MUST INCLUDE A LEVEL PAD ADJACENT TO THE STRUCTURAL BMP, PREFERABLY WITH NO VEGETATION OR IRRIGATION SYSTEM (OTHERWISE VEGETATION OR IRRIGATION SYSTEM MAY BE DESTROYED BY THE VACTOR TRUCK).

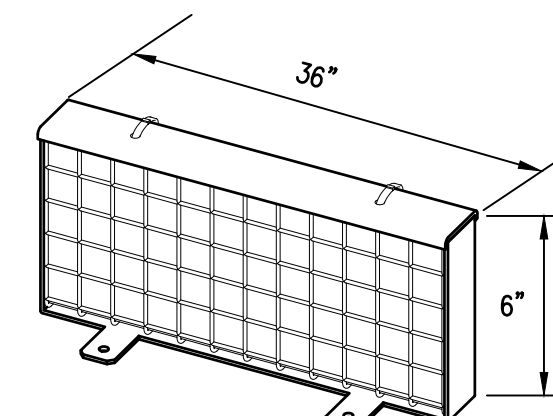
SOURCE CONTROL BMP's

(A)	STENCIL ON-SITE: "NO DUMPING GOES TO OCEAN"
(B)	INDOOR & STRUCTURAL PEST CONTROL
(C)	LANDSCAPE / OUTDOOR PESTICIDE
(D)	REFUSE AREA: "DO NOT DUMP HAZARDOUS MATERIALS HERE"
(E)	FIRE SPRINKLER TEST WATER TO DRAIN TO THE SANITARY SEWER
(F)	PLAZA, SIDEWALKS, SWEEP REGULARLY - COLLECT DEBRIS, COLLECT WASHWATER AND DISCHARGE TO SANITARY SEWER

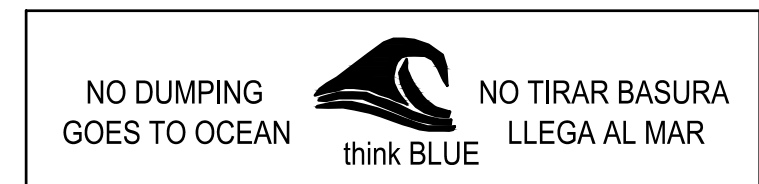
OTHER POTENTIAL POLLUTANT SOURCE AREAS PRESENT
-FOOD SERVICE
-INTERIOR FLOOR DRAINS
-MISCELLANEOUS DRAIN OR WASH WATER

SITE DESIGN BMP's

(a)	SD-3 MINIMIZE IMPERVIOUS AREA
(b)	SD-4 MINIMIZE SOIL COMPACTION
(c)	SD-5 DISPERSE IMPERVIOUS AREA
(d)	SD-7 LANDSCAPE WITH NATIVE AND DROUGHT TOLERANT SPECIES



TRASH CAPTURE DEVICE
MODEL TDAM35(5) PERF-FTC
BY REM TRITON
REMFILTERS.COM (888) 526-4736 (714) 557-2676
NOT TO SCALE



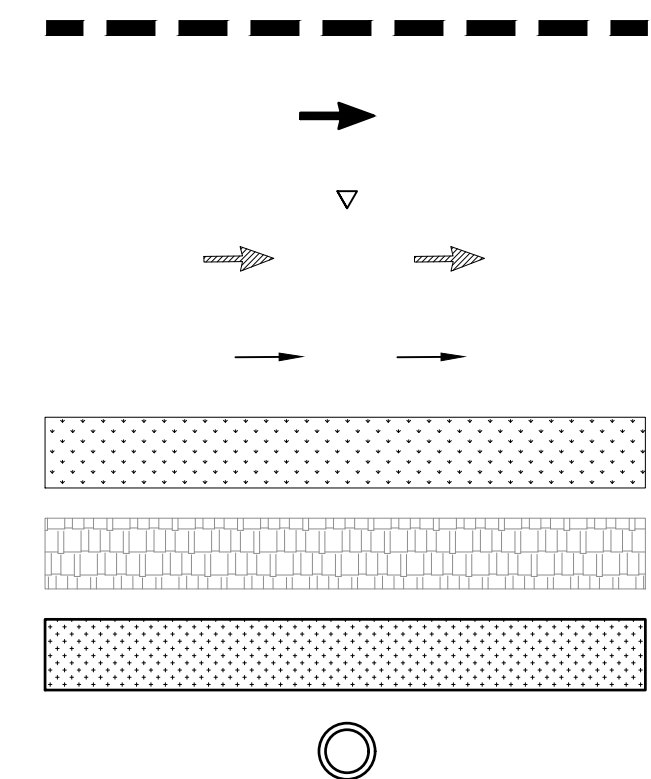
STORM DRAIN SIGNAGE
NOT TO SCALE

- NOTES:
1. THESE ARE SAMPLE TILES AND SIGNS.
 2. CITY ENGINEER TO DESIGNATE OR APPROVE SIGNS, TILES OR STENCILS.
 3. PROVIDE LABELING WITH PROHIBITIVE LANGUAGE ("NO DUMPING GOES TO OCEAN - NO TIRAR BASURA LLEGA AL MAR")
 4. SIGN SHOULD BE PLACED ON THE CATCH BASIN GRATE.
 5. SIGN SHALL HAVE A WHITE BACKGROUND WITH BLUE LETTERING.

LEGEND:
ITEM

- DRAINAGE MANAGEMENT AREA
- ACCESS FOR STRUCTURAL BMP INSPECTION AND MAINTENANCE
- ROOF DOWNSPOUT
- DRAINAGE STRUCTURE
- DRAINAGE DIRECTION (SURFACE)
- BIORETENTION (IMPERVIOUS)
- ROOF (IMPERVIOUS)
- LANDSCAPING (PERVIOUS)
- STORM DRAIN SIGNAGE

SYMBOL



BMP STRUCTURAL BMP/TYPE

BIOFILTRATION (BF-1)

UNDERLYING HYDROLOGIC SOIL GROUP

THE 64.9% OF THE PROPERTY BOUNDARY IS CLASSIFIED AS FALLBROOK SANDY LOAM Fsb SOIL TYPE C & THE REMAINING 35.1% IS VISTA COARSE SANDY LOAM SOIL TYPE B PER NRCS WEB SOILS

GROUNDWATER

THERE IS NO GROUNDWATER ONSITE PER GAMA GROUNDWATER WATERBOARDS

EXISTING NATURAL HYDROLOGIC FEATURES

NONE

CRITICAL COARSE SEDIMENT YIELD AREAS

PROJECT IS NOT WITHIN OR DOESN'T RECEIVE OR DRAINS FROM CRITICAL COARSE SEDIMENT YIELD AREAS.

WATERSHED HYDROLOGIC UNIT

SAN DIEGO RIVER 907.12 LOWER SAN DIEGO RIVER-FORESTER CREEK,

LOT AREA

GROSS AREA= 86,379 SQ. FT. 1.983 ACRES

DISTURBED AREA

TOTAL DISTURBED AREA: 0.596 ACRES 25,987 SQ. FT. (ONSITE)
0.553 ACRES 24,107 SQ. FT. (ONSITE)
0.043 ACRES 1,880 SQ. FT. (WITHIN THE ROW)

STORM WATER PRIORITY:

PRIORITY DEVELOPMENT PROJECT

SURFACE DATA TABLE

PRE-DEVELOPMENT		POST DEVELOPMENT	
IMPERVIOUS AREA	22,149 SF	IMPERVIOUS AREA	20,090 SF
	91%		83%
PERVIOUS AREA	1,958 SF	PERVIOUS AREA	4,017 SF
	8%		16%

NEWLY CREATED IMPERVIOUS AREA 0 SF
REPLACED IMPERVIOUS AREA 20,090 SF

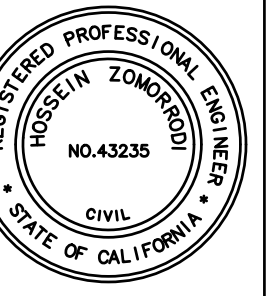
DRAINAGE MANAGEMENT AREAS

DMA	SURFACE (SQ. FT.)		TOTAL (SQ. FT.)	TYPE OF STRUCTURAL BMP
	IMPERVIOUS	PERVIOUS		
DMA 1	19,593	3,314	22,907	BIOFILTRATION BF-1
DMA 2	0	655	655	SELF-MITIGATING
DMA 3	242	48	290	DEMINIMUS
DMA 4	255	0	255	DEMINIMUS
	20,090 (83%)	4,017 (16%)	24,107 (100%)	TOTAL

BMP SIZING

DMA-1 AREA DRAINING TO BMP 1= 22,907 SF
ADJUSTED RUNOFF FACTOR= 0.78
BMP FOOTPRINT SIZING FACTOR= 0.03
22,907 X 0.78 X 0.03= 536 SF
MINIMUM BMP FOOTPRINT 536 SF < PROVIDED BMP FOOTPRINT 540 SF, THEREFORE OK

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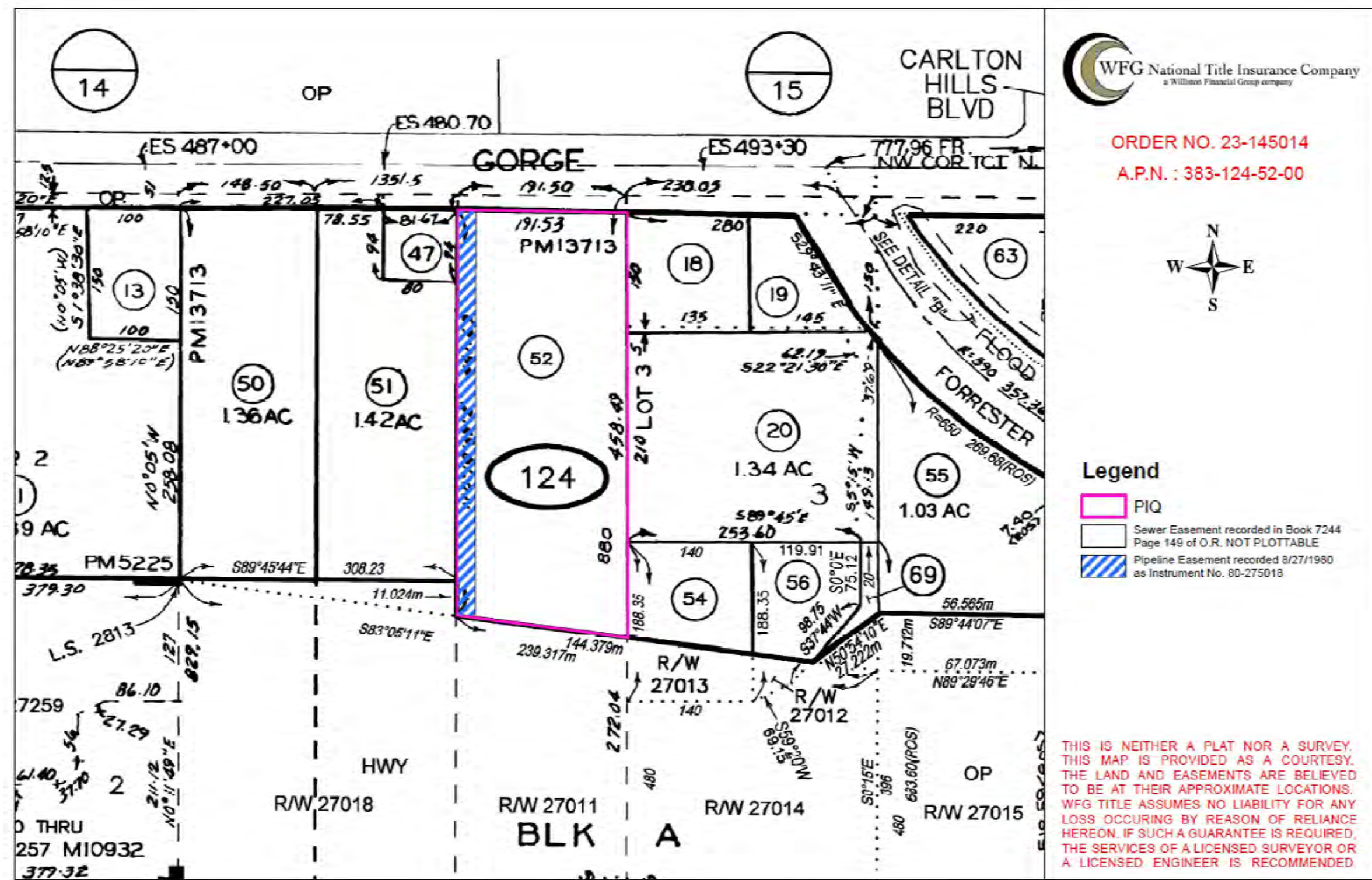
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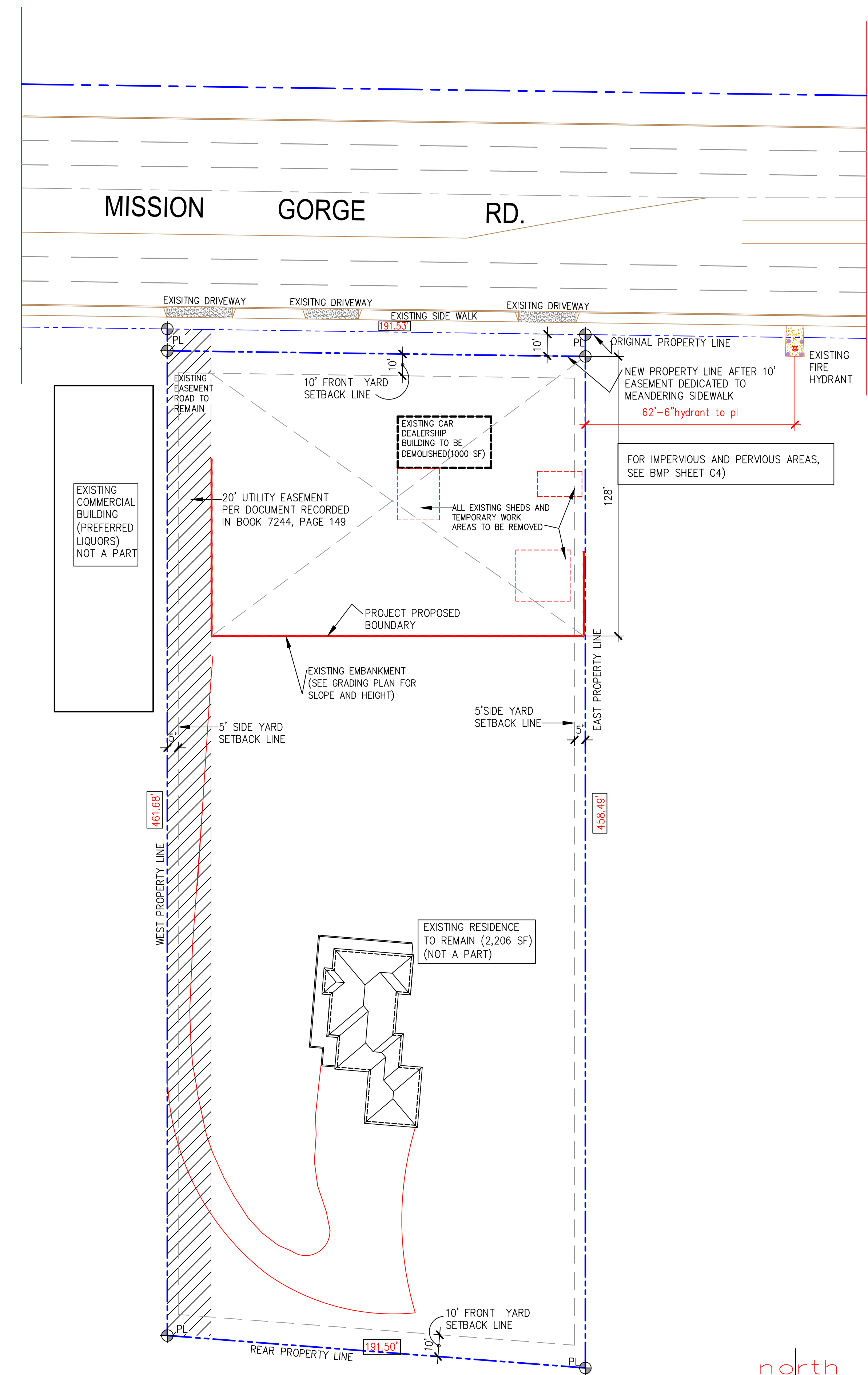
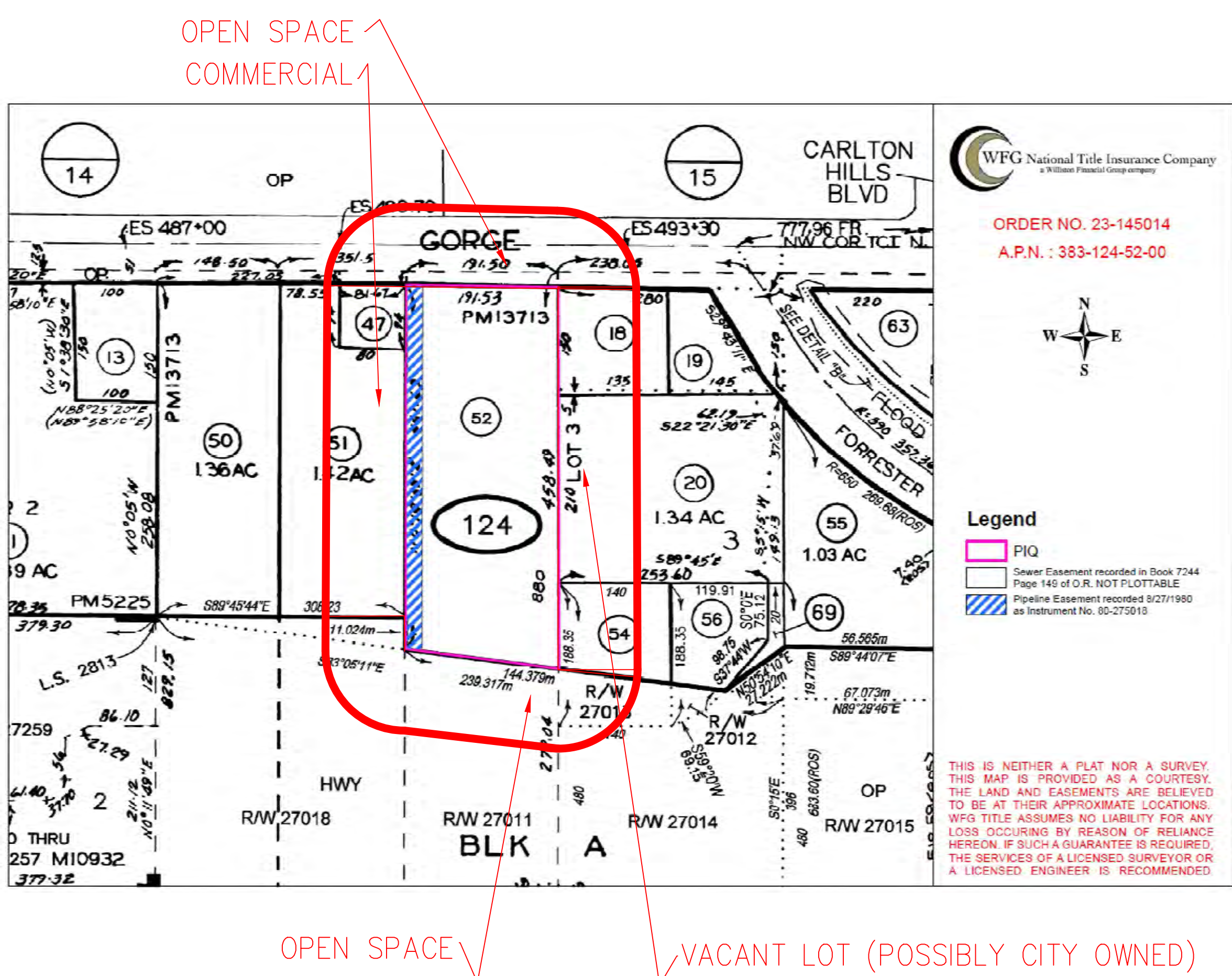
C-4

BMP

ASSESSOR'S PARCEL MAP

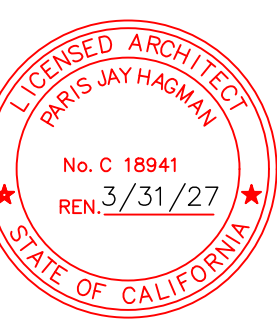


PROPERTIES WITHIN 100' OF SUBJECT PARCEL



REVISIONS	BY
7/14/25	ph
10/20/25	ph

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 7061 PRINCESS VIEW DR., SAN DIEGO, CA 92120
 (619) 298-8695



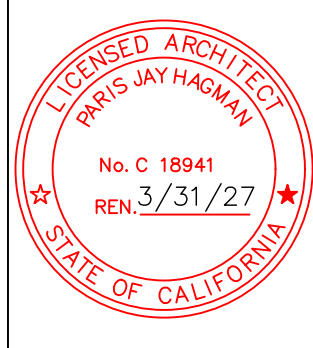
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DATE:
Scale
Drawn
Job

A1

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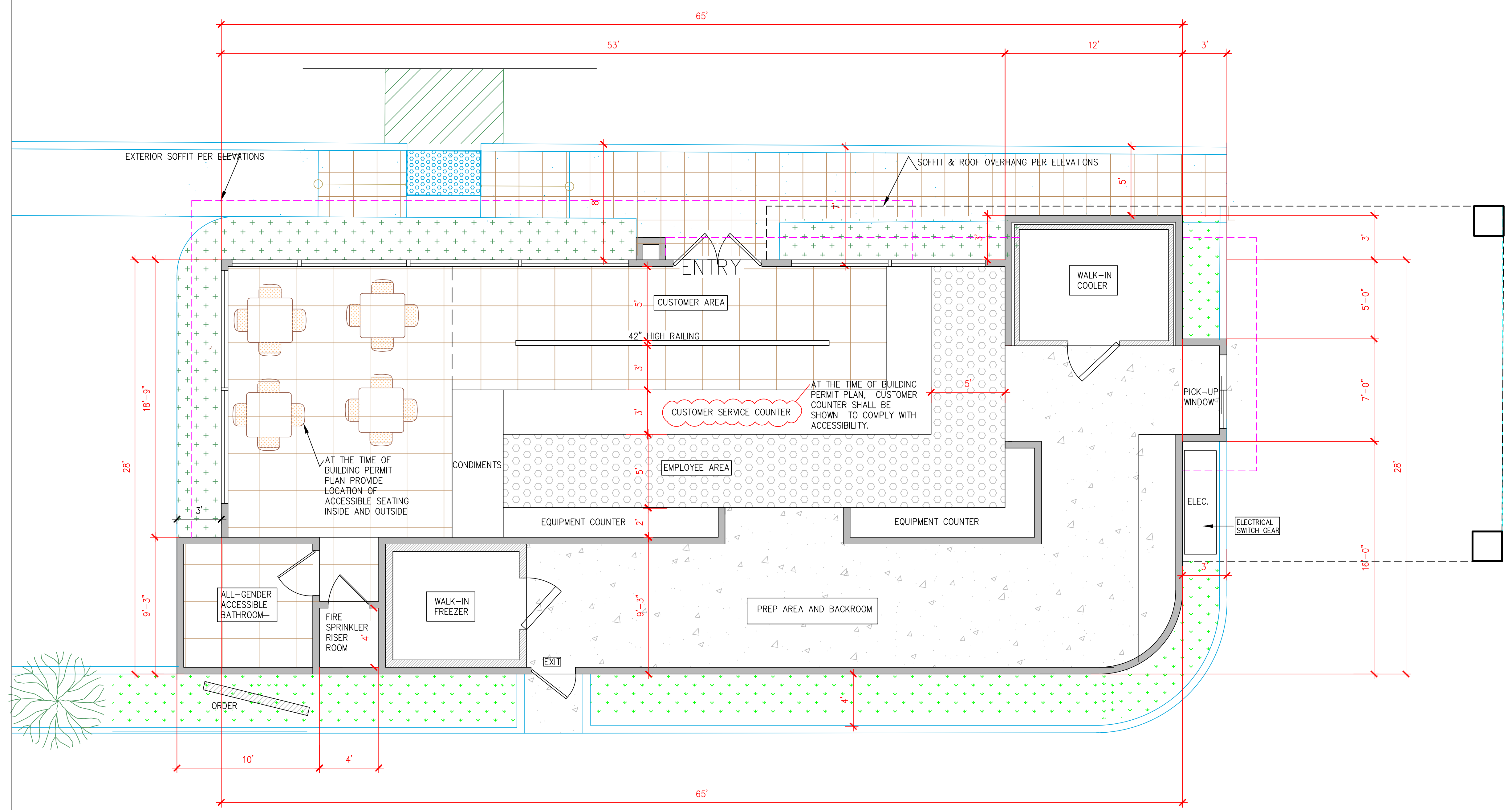
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 Scale
 Drawn
 Job

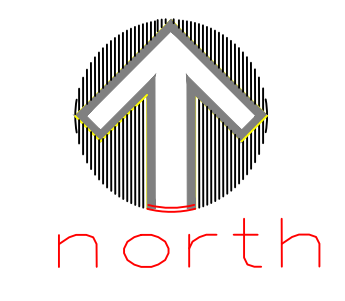
A3

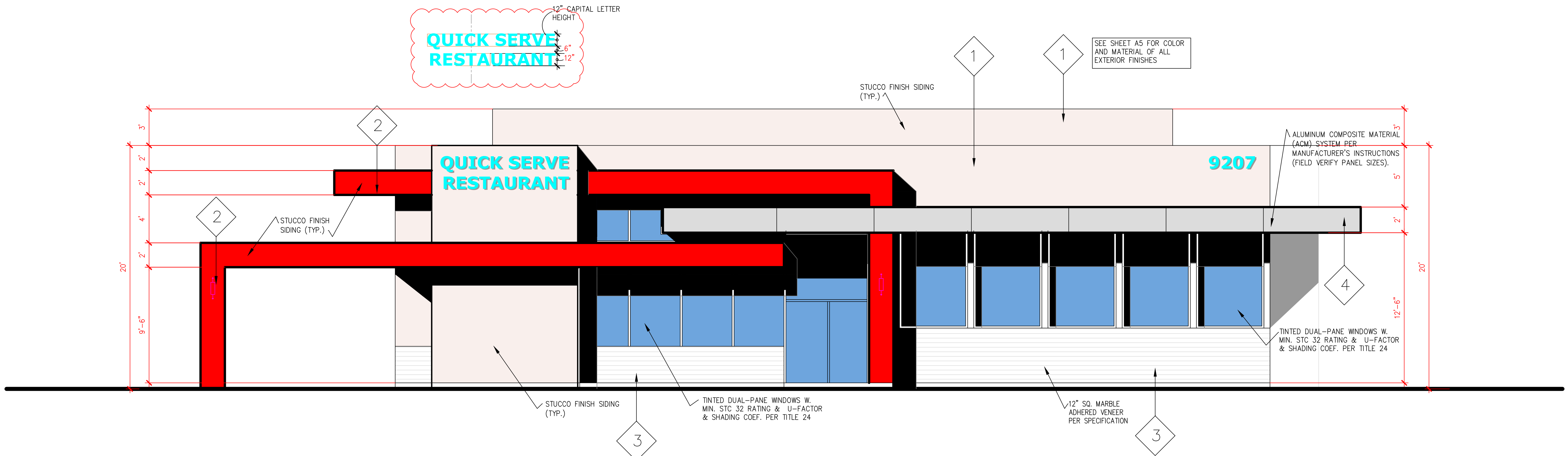


GROSS FLOOR AREA=1,898 SF

PROPOSED FLOOR PLAN

1"=10'



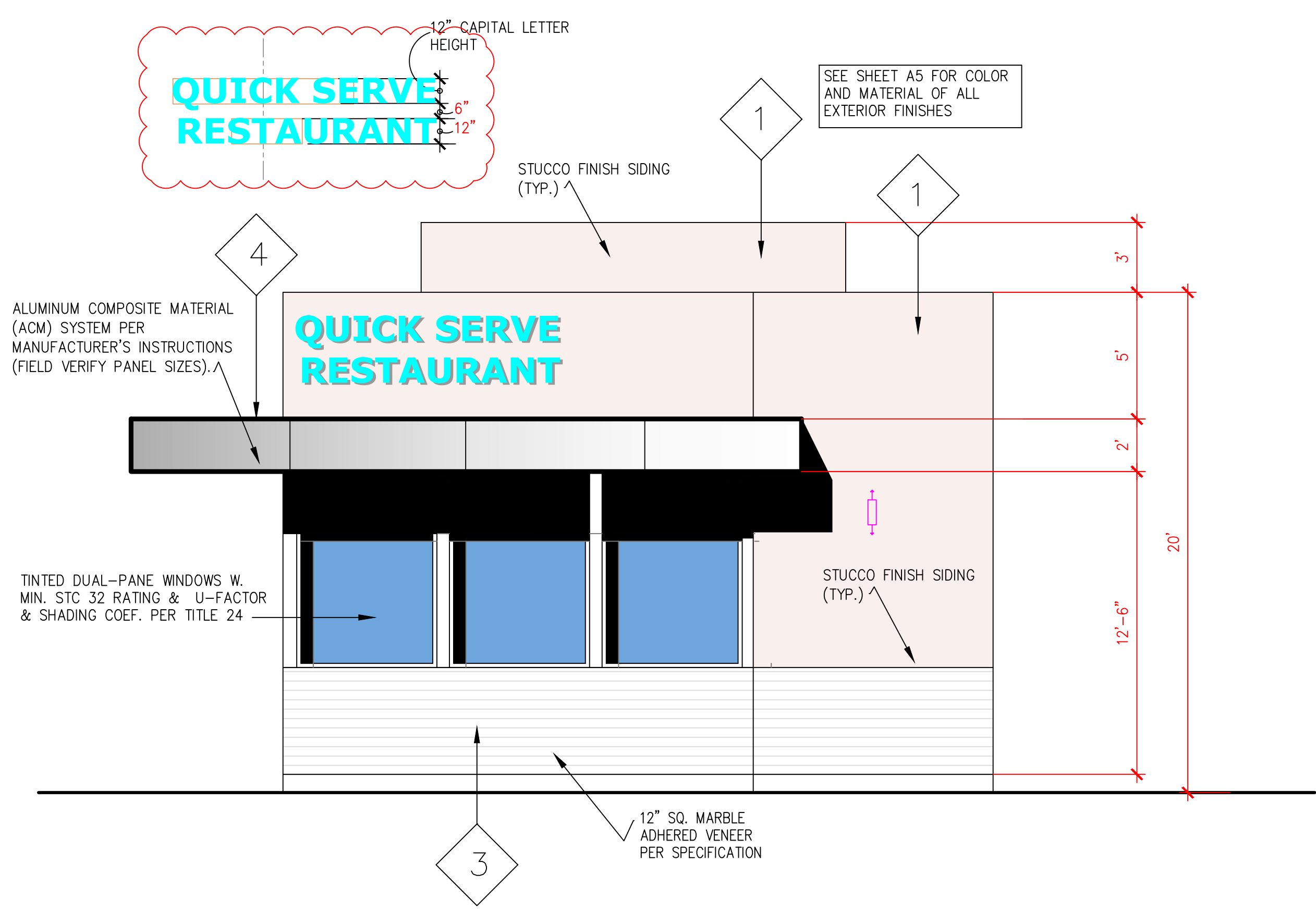


FRONT (NORTH) ELEVATION

1/4"=1'-0"



VIEW FROM NORTH-EAST CORNER

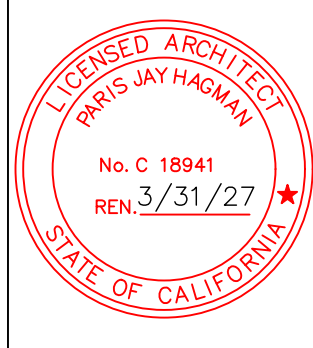


LEFT-SIDE (WEST) ELEVATION

1/4"=1'-0"

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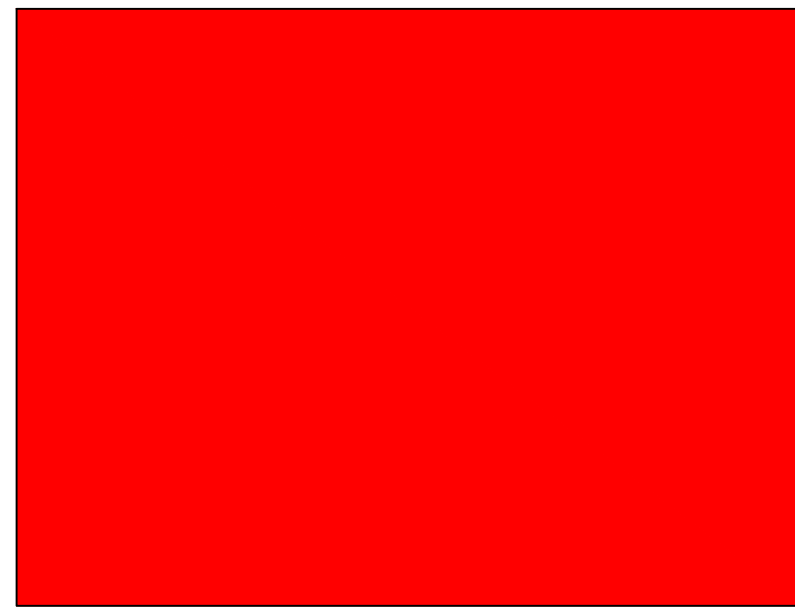
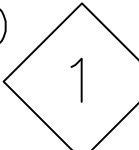
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 Scale
 Drawn
 Job

A4



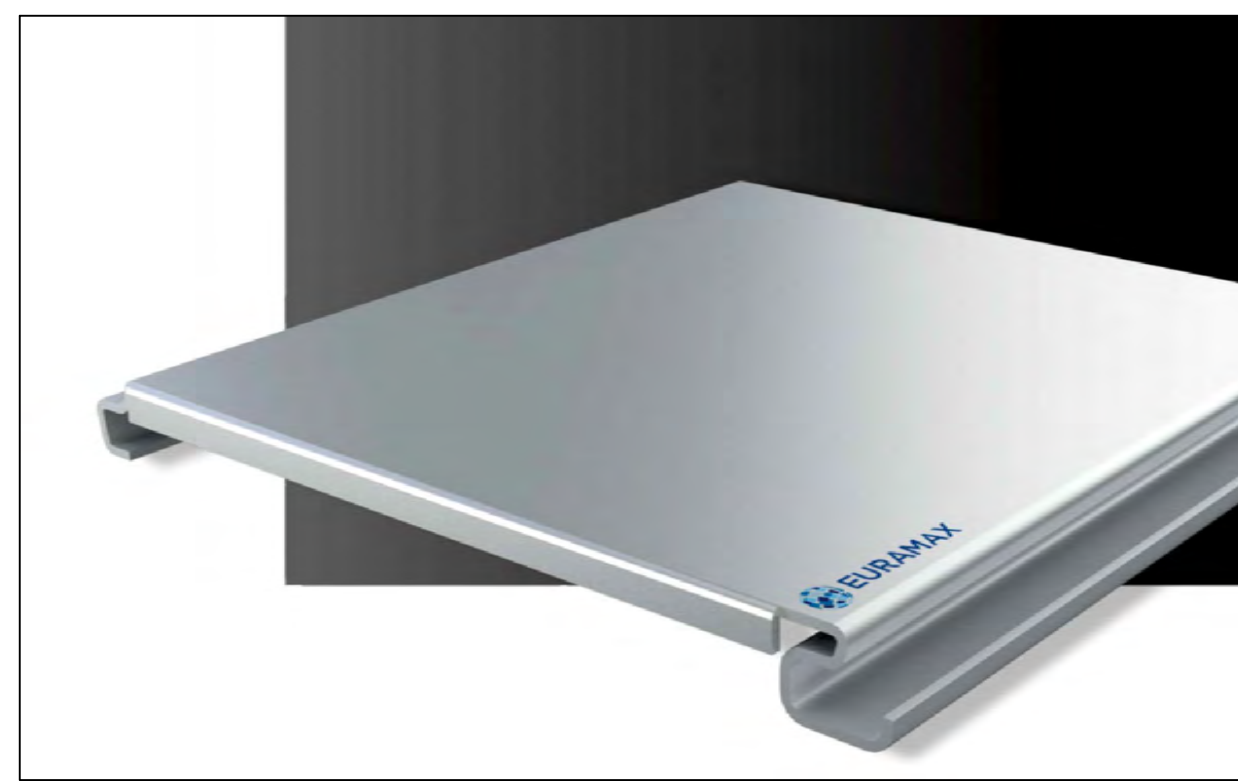
INTEGRAL COLOR-EXPO STUCCO PRODUCTS - 338 MOCHA



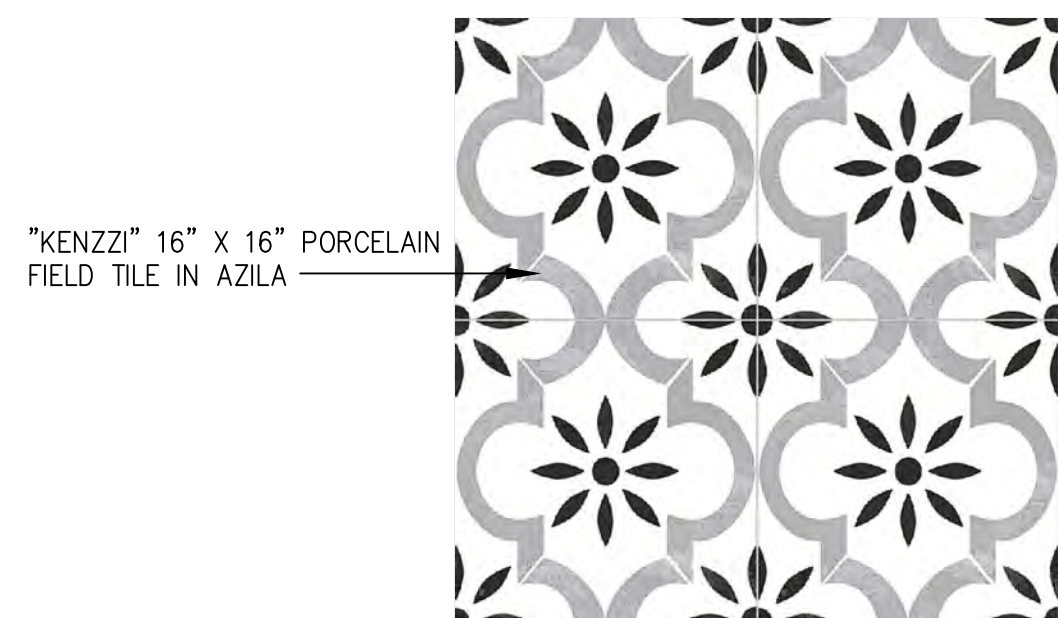
INTEGRAL COLOR-EXPO STUCCO COLOR 'SW 6887' FIREWORKS



24" SQ. MARBLE TILE ADHERED VENEER

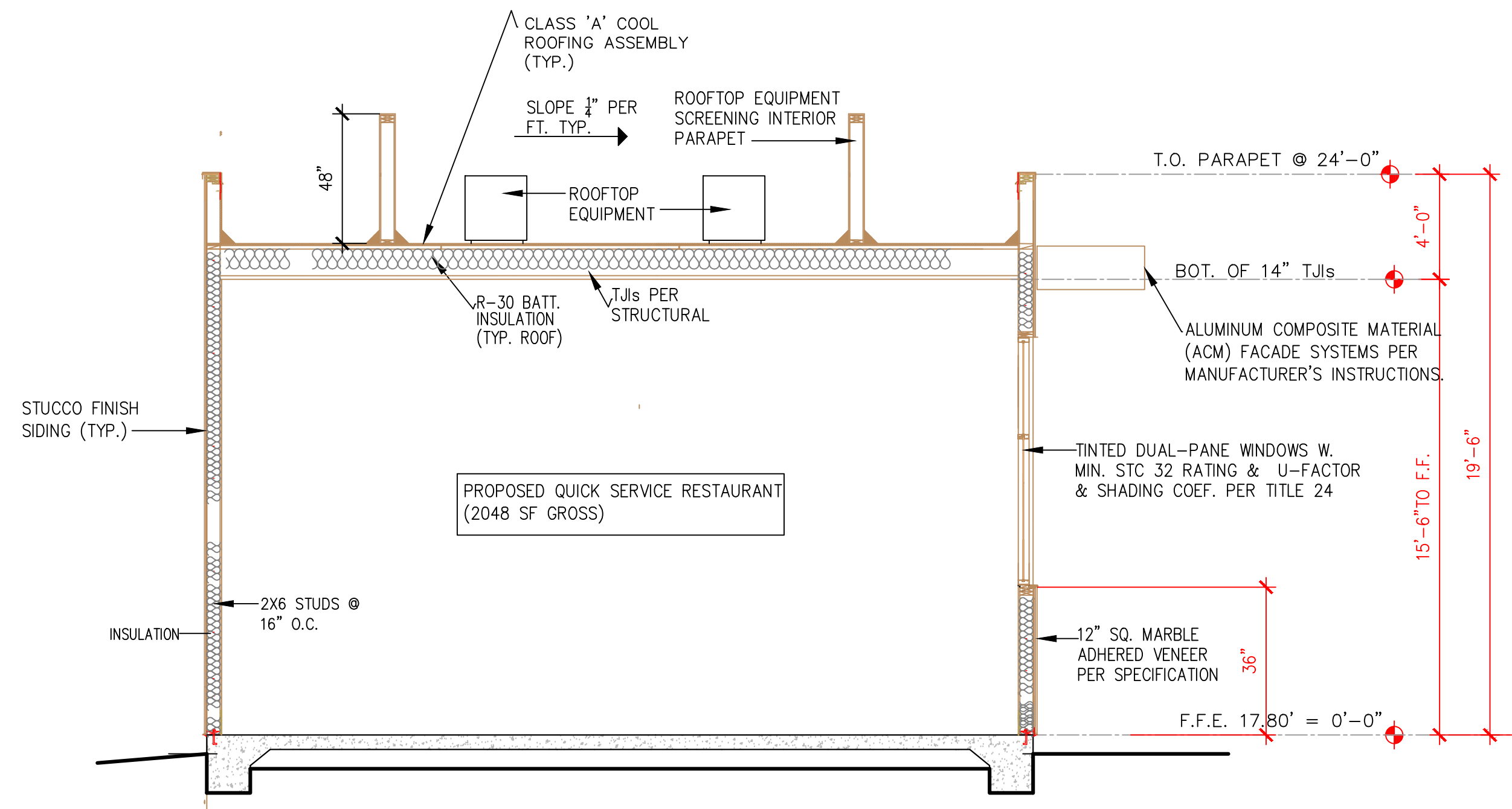


ACM CLADDING



"KENZZI" 16" X 16" PORCELAIN FIELD TILE IN AZILA

DECORATIVE TILE VENEER

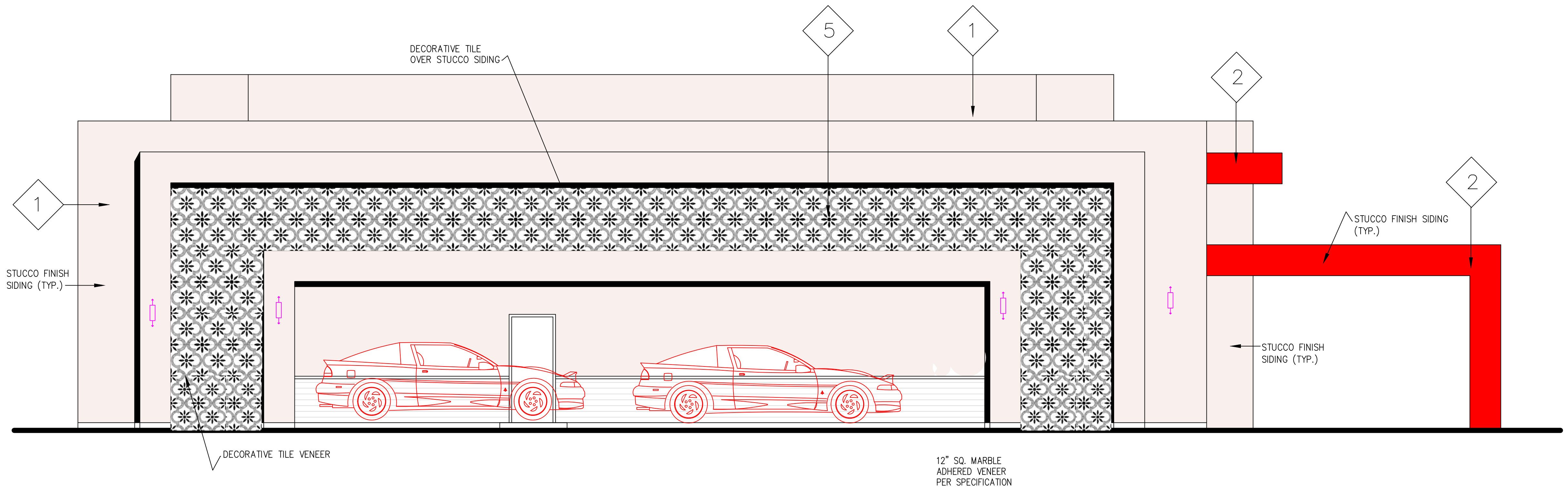


SECTION A-A

1/4"=1'-0"



RIGHT-SIDE (EAST) ELEVATION

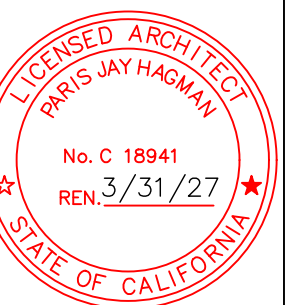


REAR (SOUTH) ELEVATION

1/4"=1'-0"

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DATE:
 Scale
 Drawn
 Job

A5

CLIMATE ACTION PLAN CONSISTENCY CHECKLIST

STEP 1 (A), LAND USE CONSISTENCY

IT HAS BEEN DETERMINED THAT THIS PROJECT IS CONSISTENT WITH THE EXISTING GENERAL PLAN AND COMMUNITY PLAN LAND USE AND ZONING DESIGNATIONS.

STEP 2 (1), COOL/GREEN ROOFS

COOL/GREEN ROOFS

THIS PROJECT HAS A FLAT ROOF (SLOPE<2/12) WITH PARAPET WALLS. THE ROOFING IS SPECIFIED AS SINGLE-PLY ROOFING MATERIAL WITH WHITE, REFLECTIVE COLOR PIGMENTATION WITH A MINIMUM 3-YEAR AGED SOLAR REFLECTION AND THERMAL EMITTANCE OR SOLAR REFLECTION INDEX EQUAL TO OR GREATER THAN THE VALUES SPECIFIED BELOW.

TYPE	SLOPE	SOLAR REFLECTANCE	THERMAL EMITTANCE	SOLAR REFLECTIVE INDEX
NON-RESIDENTIAL	<2:12	0.55	0.75	75

THESE ARE NOTED ON ROOF PLAN, SHEET A8

STEP 2 (2), PLUMBING FIXTURES AND FITTINGS

THIS PROJECT PROPOSES PLUMBING FIXTURES AND FITTINGS THAT DO NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN TABLE A5.303.2.3.1 (VOLUNTARY MEASURES) OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE PER THE FOLLOWINGS.

FIXTURE TYPE	MAXIMUM FLOW RATE
LAVATORY FAUCETS	0.35 GPM @ 60 PSI
FLUSHMETER TANK WATER CLOSETS	1.12 GALLONS/FLUSH
WALL-MOUNTED URINALS	0.44 OR 0.11 GALLONS/FLUSH

THIS IS NOTED AT THE LOWER LEFT OF SHEET A3

STRATEGY 2(3): CLEAN & RENEWABLE ENERGY

TO ACHIEVE BOTH INDOOR LIGHTING AND MECHANICAL SYSTEMS - OF 90% OF THE TITLE 24, PART 6 ENERGY BUDGET OR 10% REDUCTION FROM THE STANDARD DESIGN BUILDING, THIS PROJECT PROPOSES ADDITION OF SOLAR ENERGY, ENERGY SAVING FENESTRATION ORIENTATION & THERMAL COEFFICEINCE, AS WELL AS EFFECTIVE SHADING OVER THE WINDOWS.

STRATEGY 3(5): BICYCLING, WALKING, TRANSIT & LAND USE

BASED ON THE NUMBER OF PARKING SPACES FOR THIS PROJECT (9 STALLS), THIS PROJECT PROPOSES INSTALLATION OF 2-DESIGNATED BICYCLE SPACES, AND 1-MOTORCYCLE SPACE AS SHOWN ON SITE PLAN (ADJACENT TO PARKING SPACE 1).

STRATEGY 3(6): SHOWER FACILITIES

THIS REQUIREMENT DOES NOT APPLY TO THIS PROJECT SINCE THE NUMBER OF EMPLOYEES ARE LESS THAN 10.

STRATEGY 3(7): DESIGNATED PARKING SPACES

THIS REQUIREMENT DOES NOT APPLY TO THIS PROJECT SINCE THE NUMBER OF PARKING SPACES ARE LESS THAN 10.

STRATEGY 3(8): N/A

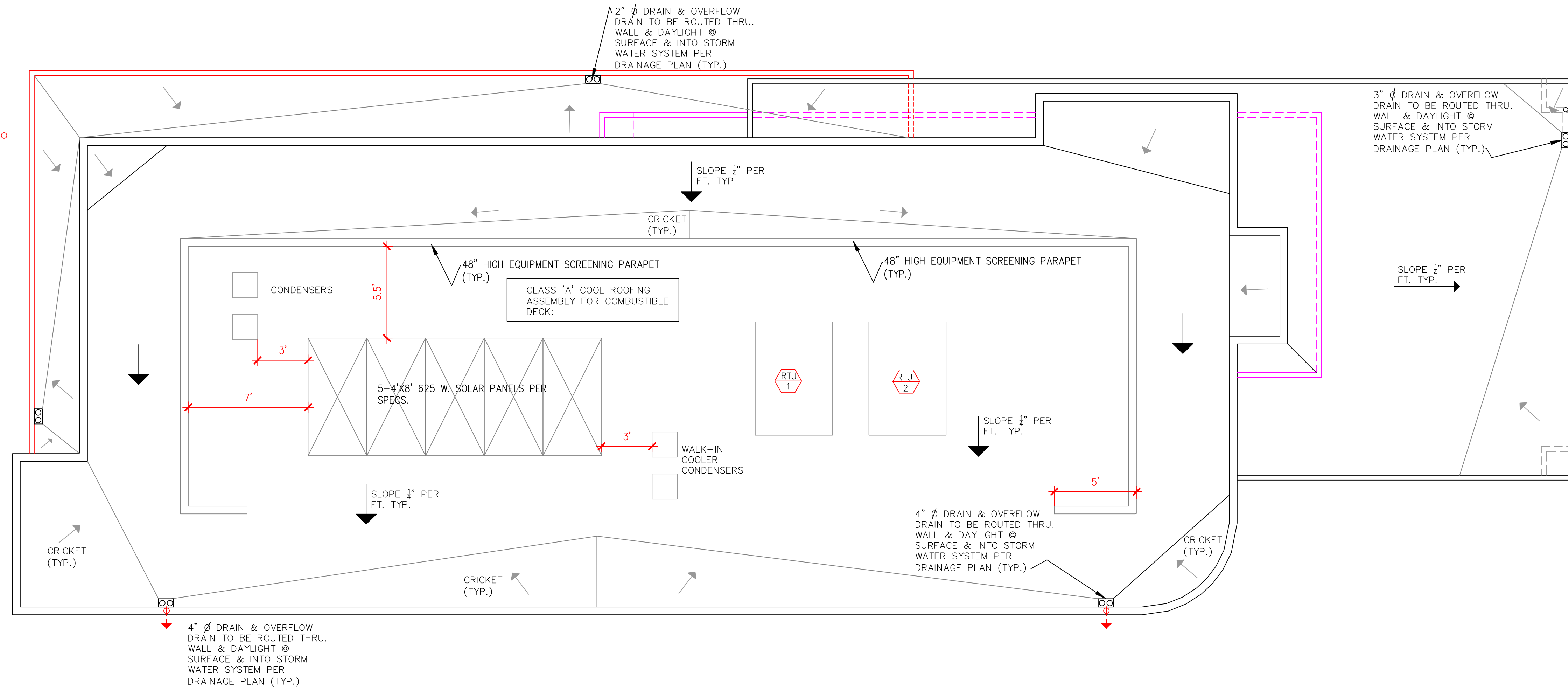
PROJECT CAP CONFORMANCE EVALUATION:

THIS REQUIREMENT DOES NOT APPLY TO THIS PROJECT SINCE THE ANSWER TO STEP 1 OPTION B IS NOT IN THE AFFIRMATIVE.

ROOF DRAIN NOTES:

PROVIDE OVERFLOW DRAIN WHERE ROOF DRAINS ARE INSTALLED. THE OVERFLOW DRAINS TO HAVE THE SAME SIZE AS THE ROOF DRAINS WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF.

OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES.



ROOF PLAN

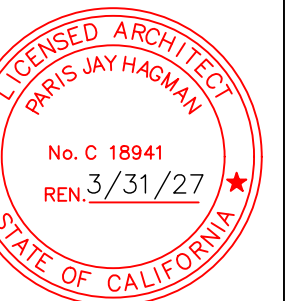
1/4"=1'-0"

ADDITIONAL GREEN BUILDING NOTES

- PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NON-ABSORBENT WALL AND FLOOR FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH ENTRY.
- ADHESIVES AND SEALANTS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS. (SECTION 5.504.4.1 OF CA GREEN) ADHESIVES: ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2 OF CALGREEN. (SEC. 5.504.4.1).
- A LETTER FROM THE CONTRACTOR AND THE OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- AEROSOL ADHESIVES AND SMALLER UNIT SIZES OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
- ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH TABLE 5.504.4.2 UNLESS MORE STRINGENT LOCAL LIMITS APPLY (SECTION 5.504.3 OF CALGREEN).
- AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED 'MIR' LIMITS FOR 'ROC' IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES (CCR, TITLE 17, SECTION 94520 ET SEQ). (SECTION 5.504.4.3.1 OF CALGREEN)
- A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT PAINT HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT PAINT HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET AT LEAST ONE OF THE FOLLOWING TESTING AND PRODUCT REQUIREMENTS WHICH ARE LISTED IN SECTION 5.504.4.4. OF CALGREEN.
 - CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM.
 - COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS CDPH STANDARD METHOD V1.1 OR SPECIFICATION 01350)
- AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET ONE OF THE FOLLOWING CRITERIA:
 - CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM
 - COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS, VERSION 1.1 FEBRUARY 2010.
 - COMPLIANT WITH THE CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CA-CHPS) CRITERIA INTERPRETATION FOR EQ 2.2 DATED JULY 2012 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE.
 - COMPLIANT WITH CDPH CRITERIA AS CERTIFIED UNDER THE GREENGUARD CHILDREN'S & SCHOOL PROGRAM.
- PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING AND IN BUILDINGS. (SECTION 5.504.7). SHOW NO SMOKING AREA BY SIGNAGE OR OTHERWISE IN THOSE SPECIFIC AREA OUTLINED ABOVE.
- INTERIOR SOUND. WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC RATING OF AT LEAST 40. (SECTION 5.507.4.2) PROVIDE DETAILS AND SPECIFY LISTING NUMBER THAT SHOWS STC RATING OF
- CLARIFIER TANK SHOWN ON DETAIL 1/A2, IT SHALL BE UNDER SEPARATE PERMIT.
- ALL ENTRANCES AND EXTERIOR GROUND-FLOOR EXITS TO BUILDINGS AND FACILITIES SHALL HAVE DOORS, DOORWAYS OR GATES THAT ARE PART OF AN ACCESSIBLE ROUTE AND COMPLY WITH SECTION 11B-404. (SEC 11B-206.4.1). SHOW ON PLAN ENTRANCES/ EGRESS DOORS TO COMPLY WITH HIS REQUIREMENT.
- FOR THE ACCESSIBLE LAVATORIES AND SINKS, THE FRONT OF THE HIGHER OF THE RIM OR COUNTER SURFACE TO FINISH FLOOR OR GROUND SHALL BE 34 INCHES MAXIMUM. SECTION 11B-606.3. SHOW THIS HEIGHT DIMENSION ON PLAN.

REVISIONS	BY
7/14/25	ph
1/19/26	ph

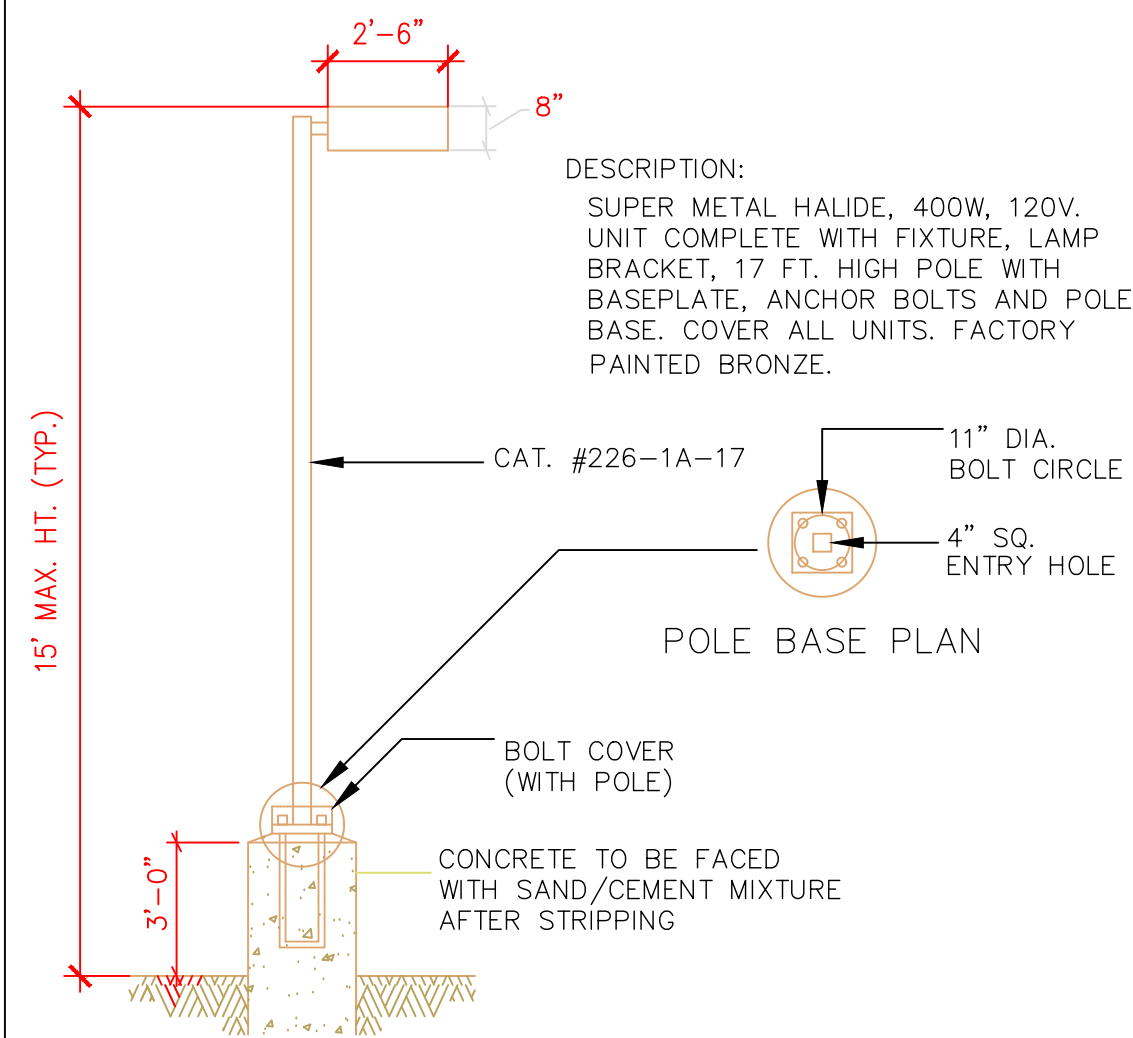
HAGMAN & ASSOCIATES
ARCHITECTURE & PLANNING
1516 W. Redwood St., San Diego, Ca. 92101
(619) 298-8058



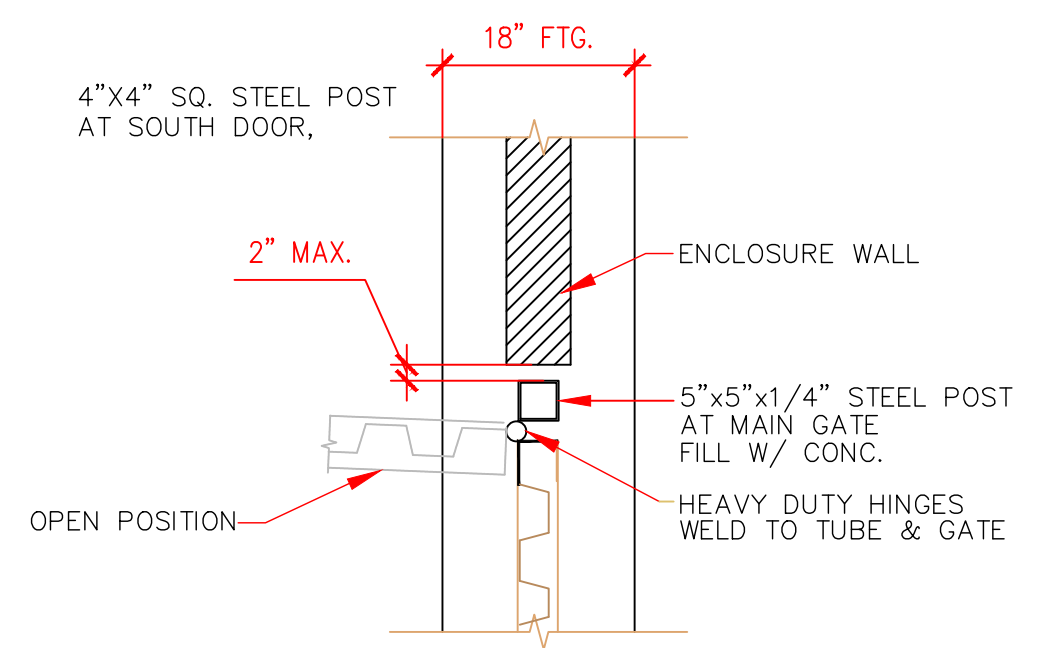
NEW DRIVE-THRU, QUICK SERVICE RESTAURANT
9207 MISSION GORGE RD. SANTEE, CA 92071

DATE:
Scale
Drawn
Job

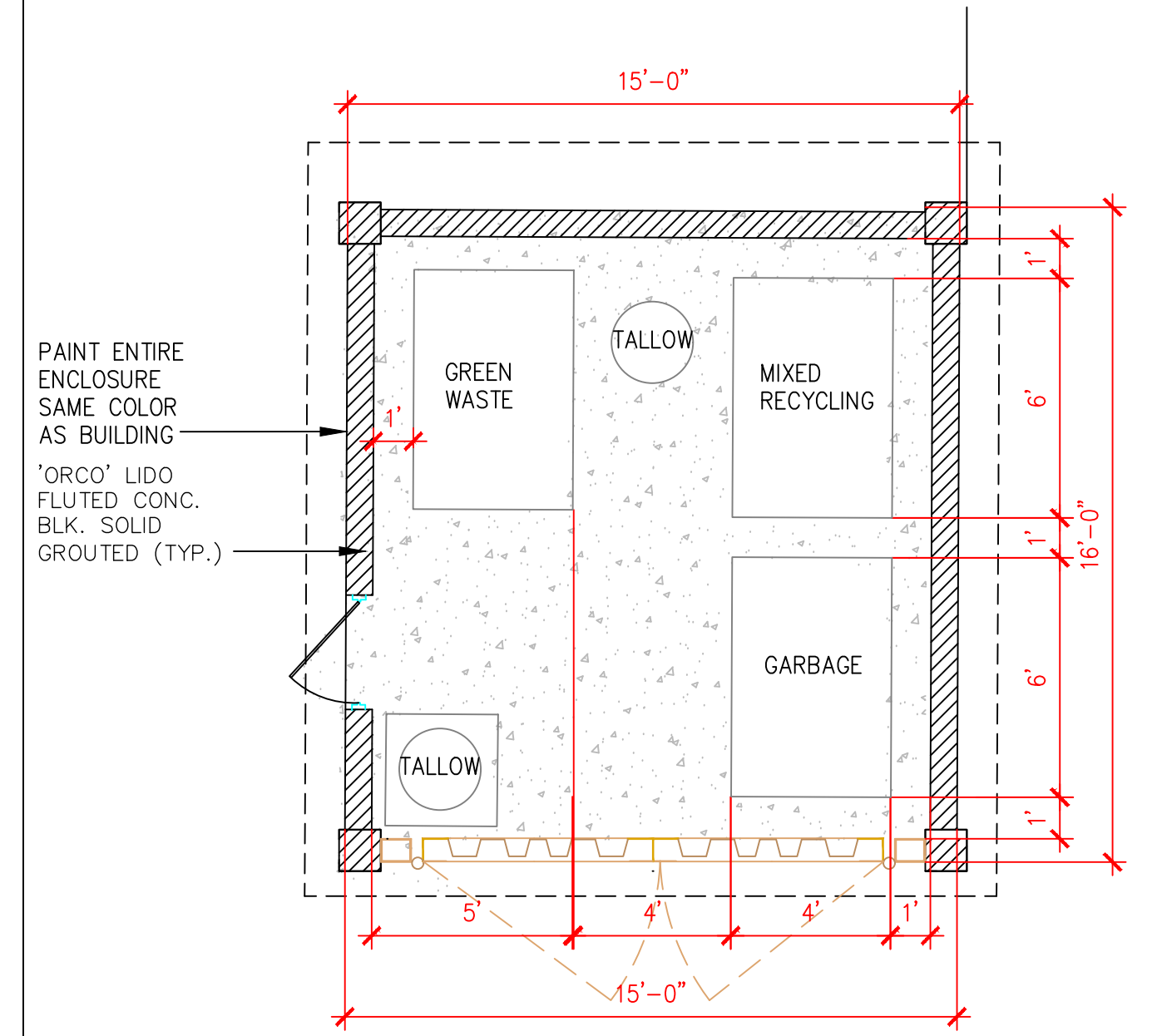
A6



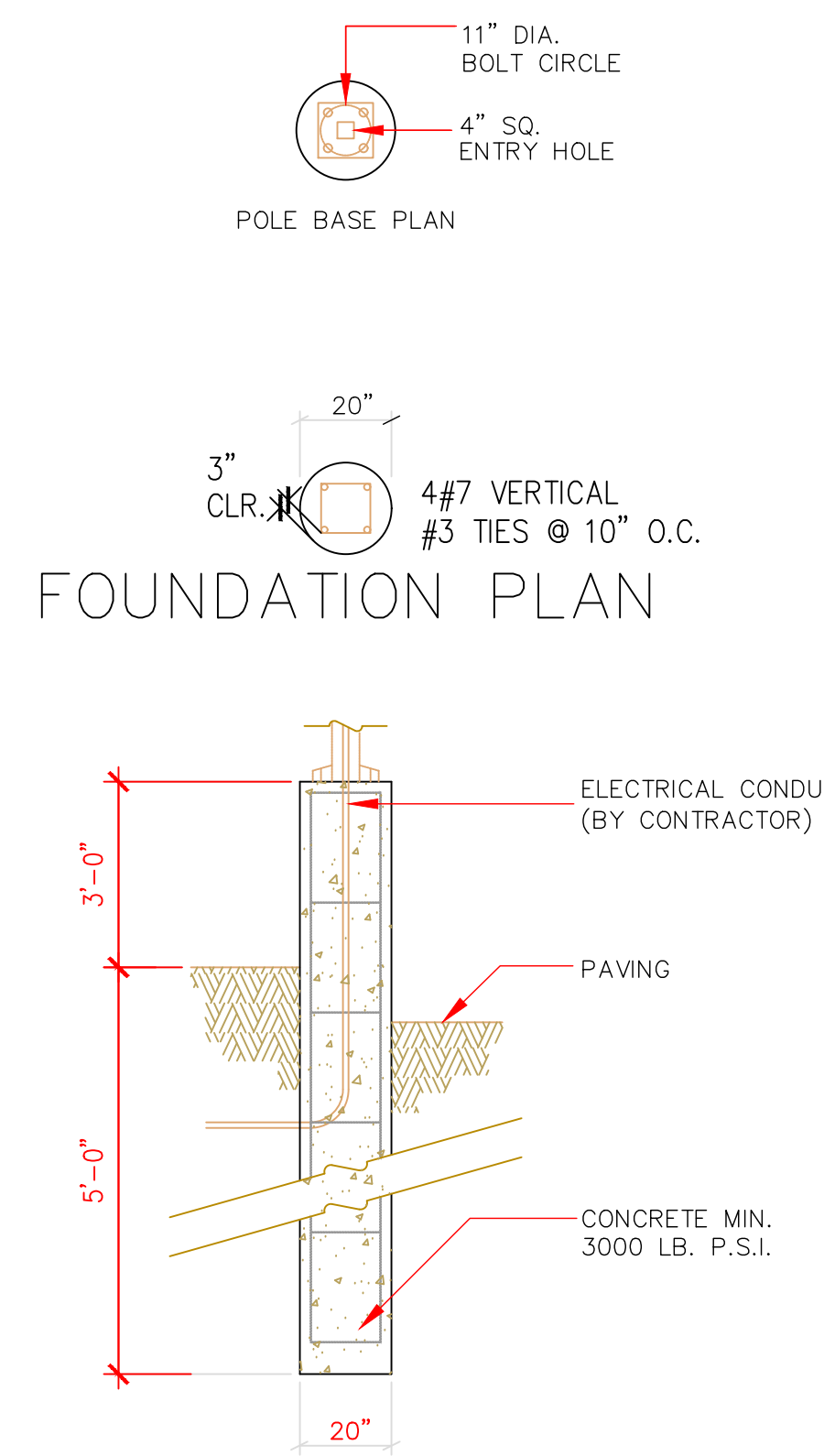
ELEVATION LIGHT POLE ③
N.T.S. COLOR: BRONZE



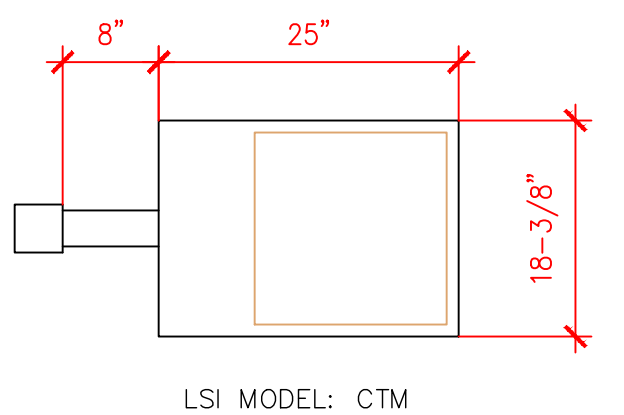
GATE POST DETAIL ②
SCALE: 1 1/2" = 1'-0"



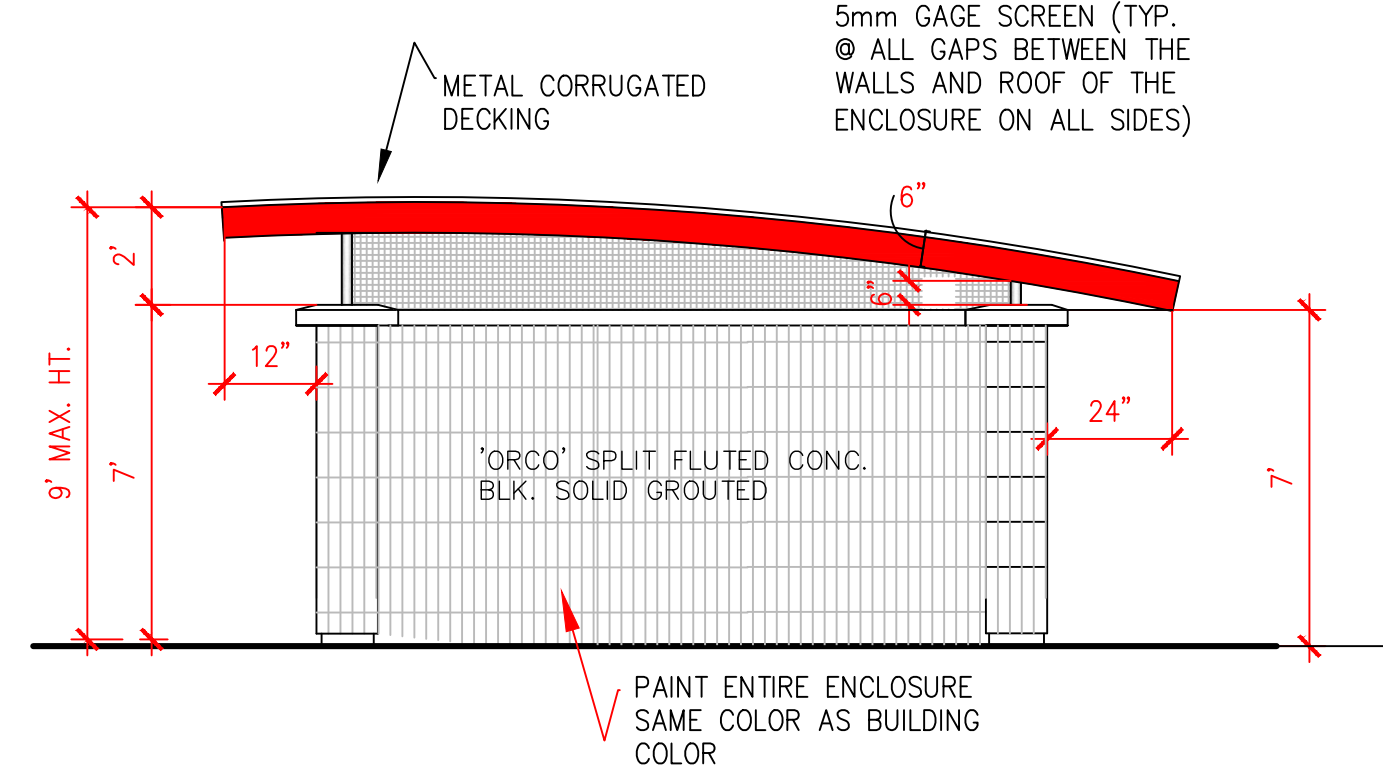
ACCESSIBLE TRASH ENCL. PLAN ①
SCALE: 1/4" = 1'-0"



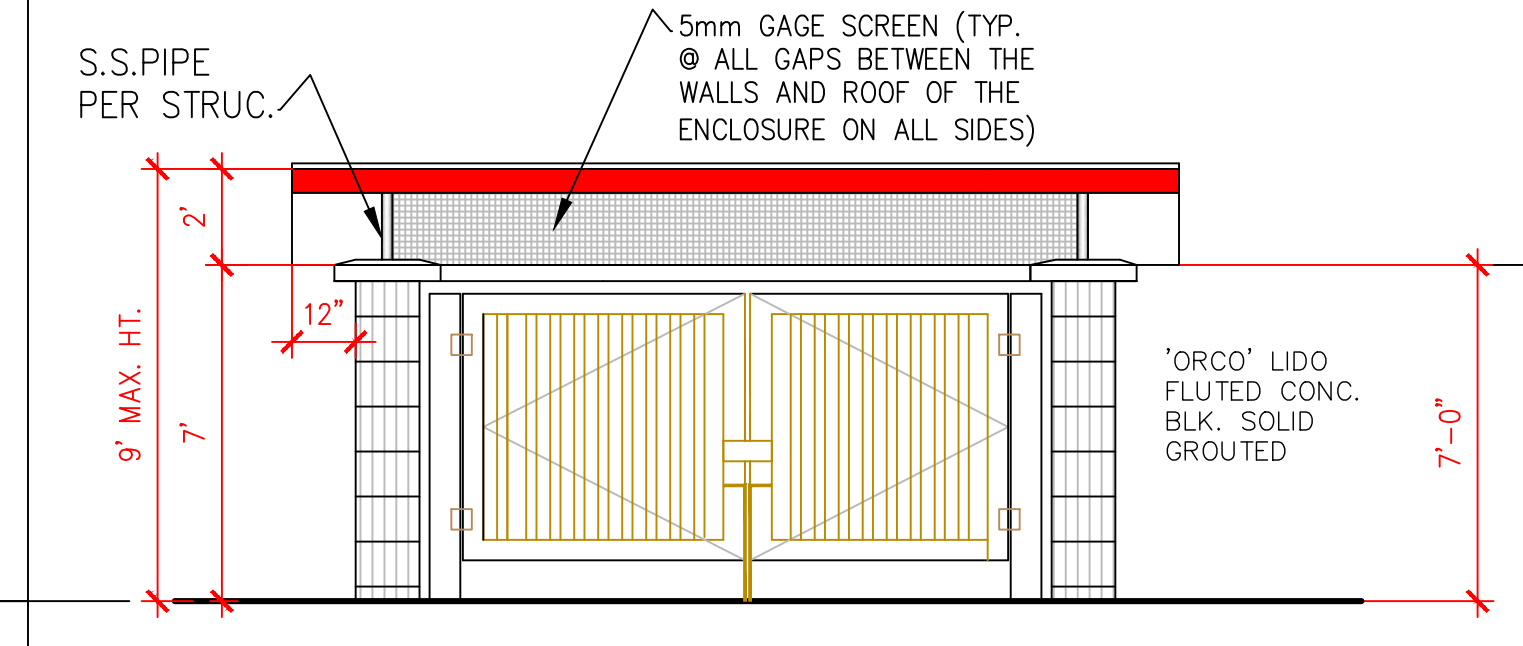
FOUNDATION SECTION ④
N.T.S.



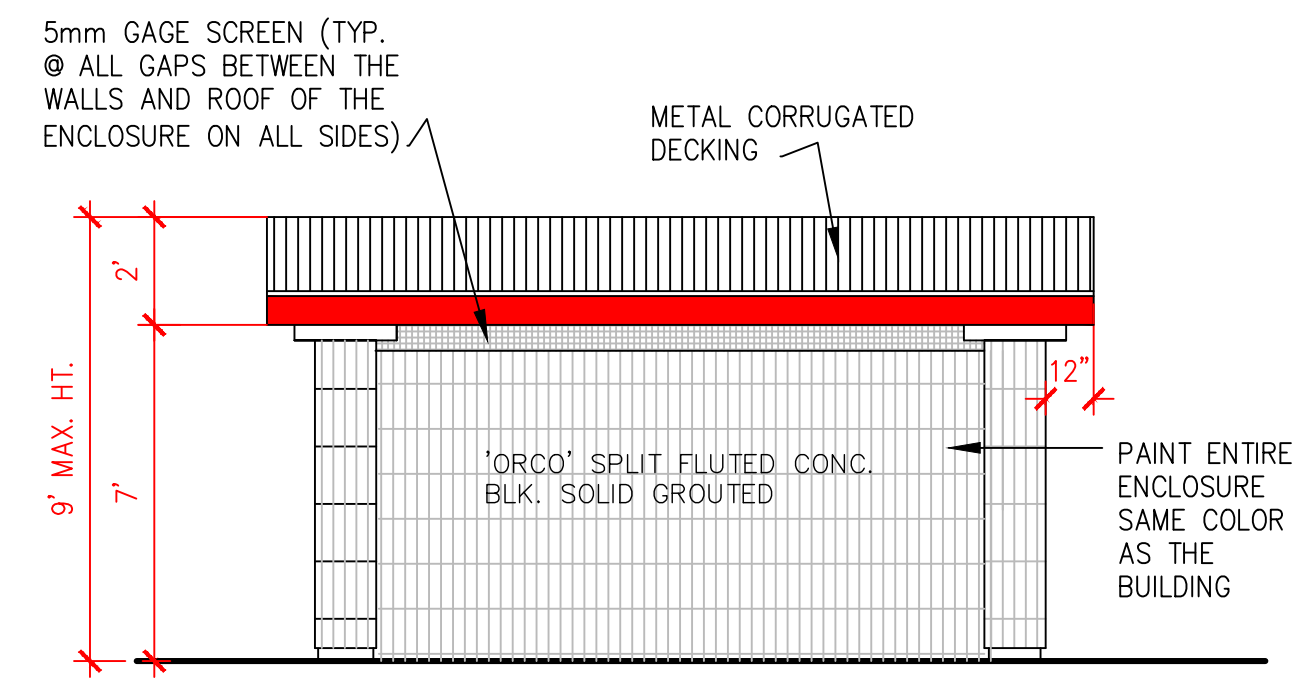
LIGHTING CONFIGURATION ⑤
N.T.S.



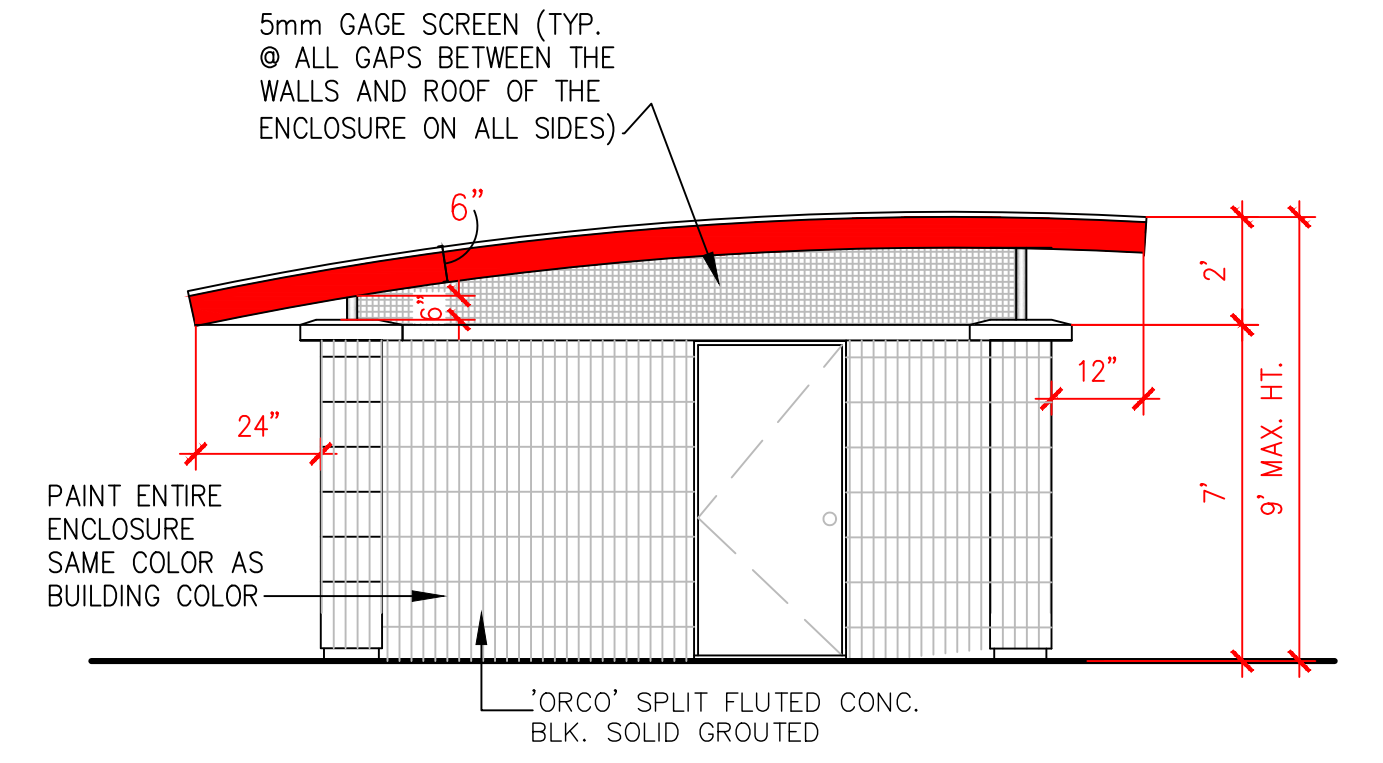
RIGHT SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



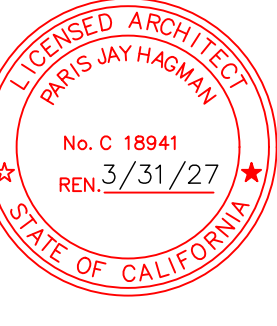
REAR (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY
7/14/25	ph

HAGMAN & ASSOCIATES
ARCHITECTURE & PLANNING
1516 W. Redwood St., San Diego, Ca. 92101
(619) 298-8059



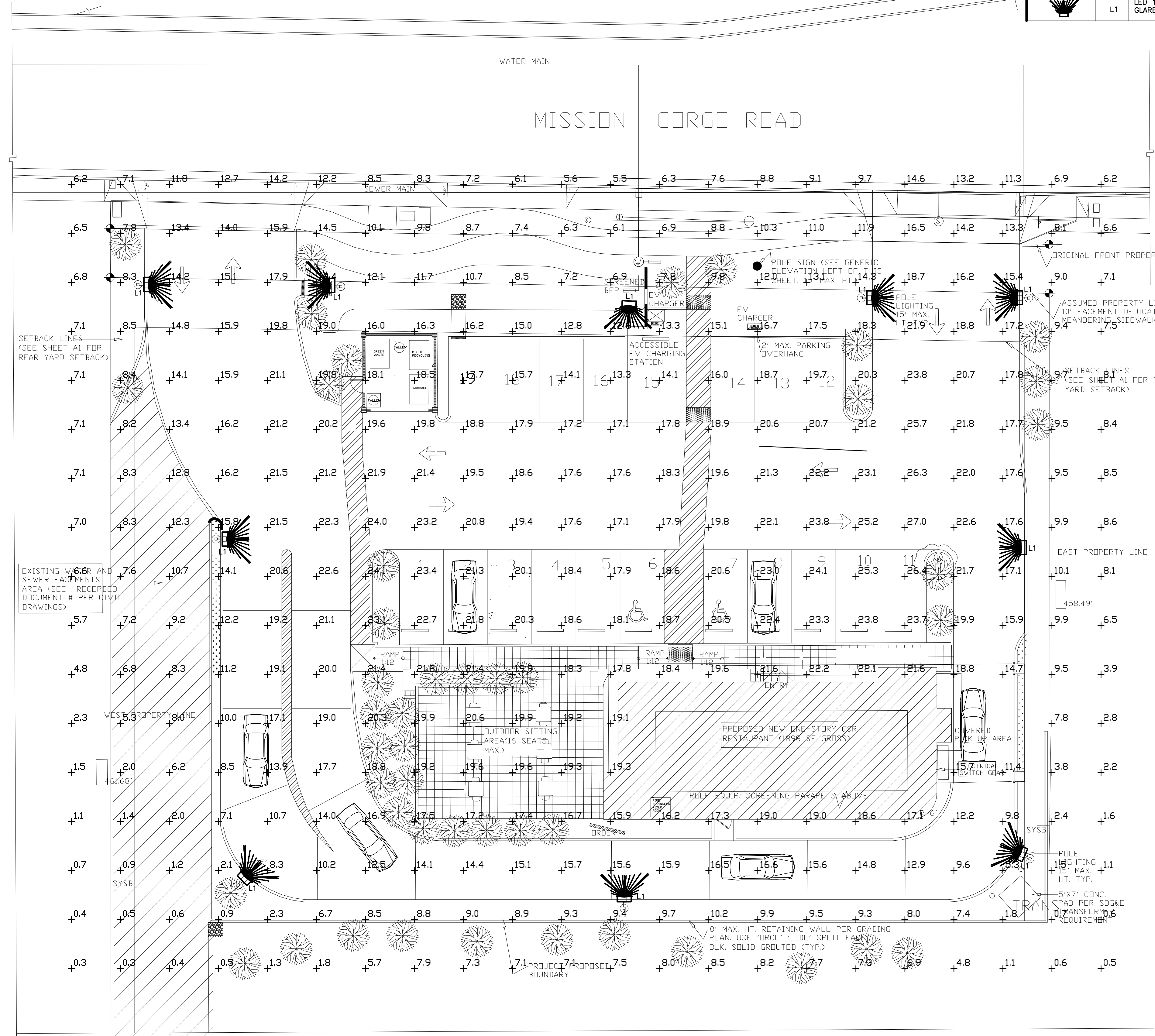
NEW DRIVE-THRU, QUICK SERVICE RESTAURANT
9207 MISSION GORGE RD. SANTEE, CA 92071

DATE:
Scale
Drawn
Job

A7

REVISIONS	BY

LIGHTING FIXTURE SCHEDULE							
SYMBOL	LABEL	DESCRIPTION	LAMPS QTY./W./TYPE/COLOR MANUFACTURER	FIXTURE VOLTAGE	INPUT WATTS	BUG RATING	MANUFACTURER
	L1	LED 15' HIGH AREA LIGHT WITH EXTERNAL GLARE SHIELD AND 0-10V DIMMING DRIVER	LED 11,959L 80 CRI, 4000K	MVOLT	137W	B0 U0 G3	LITHONIA LIGHTING DSXO LED P6 40K 80CRI BLC3 MMVOLT RPA DMG EGRS DDBXD

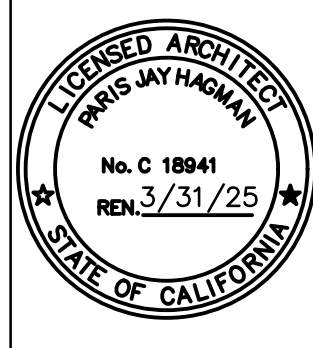


STATISTICS				
AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVERAGE MIN.
13.6 fc	27.0 fc	0.3 fc	90.0 : 1	45.3 : 1

EXTERIOR LIGHTING PHOTOMETRICS PLAN
N.T.S



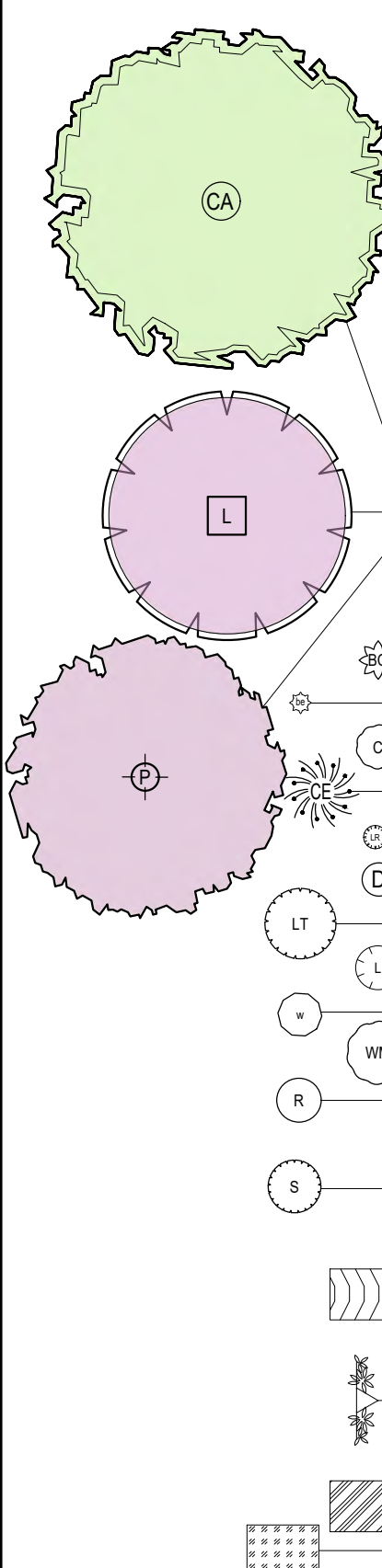
HAGMAN & ASSOCIATES
ARCHITECTURE & PLANNING
7081 PRINCESS VIEW DR.



NEW DRIVE-THRU, QUICK SERVICE RESTAURANT
9207 MISSION GORGE RD. SANTEE, CA 92071

DATE:
Scale
Drawn
Job
E1





PLANT LIST

ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME	WUCOLS
TREES					
CUP. ANA	36" BOX	6	CUPANIOPSIS ANACARDIODES	CARROT WOOD	M
LAG. FAU	36" BOX	5	LAGERSTROEMIA FAURIEI 'MUSKOGEE' (STANDARD)	LAVENDER CRAPE MYRTLE	L
PRU. K.V.	36" BOX	1	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	PURPLE LEAF PLUM	M
SHRUBS					
AGA. B.G.	5 GAL	6	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	L
ALO. B.E.	1 GAL	62	ALOE 'BLUE ELF'	BLUE ELF ALOE	L
CAL. L.J.	5 GAL	43	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLE BRUSH	L
CHO. ELE.	5 GAL	36	CHONDRPETALUM ELEPHANTINUM	LARGE CAPE RUSH	L
DIA. L.R.	1 GAL	5	DIANELLA REVOLUTA 'LITTLE REV'	VARIEGATED FLAX LILY	L
DIE. BIC.	1 GAL	53	DIETES BICOLOR	BICOLOR AFRICAN IRIS	L
LIG. TEX.	5 GAL	3	LIGUSTRUM JAPONICUM 'TEXANUM' (COLUMN FORM)	TEXAS PRIVET	M
LOM. P.B.	5 GAL	36	LOMANDRA 'PLANTINUM BEAUTY'	PLATINUM BEAUTY DWARF MAT RUSH	L
WES. G.B.	5 GAL	4	WESTRINGIA FRUTICOSA 'GREY BOX'	DWARF COAST ROSEMARY	L
WES. MUN.	5 GAL	31	WESTRINGIA FRUTICOSA MUNDI	LOW COAST ROSEMARY	L
RHA. U.M.	15 GAL	75	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	L
DIA. CAE.	1 GAL	70	DIANELLA CAERULEA 'CASSA BLUE'	CASSA BLUE FLAX LILY	L
SAL. S.B.	5 GAL	18	SALVIA LEUCANTHA 'SANTA BARBARA'	SANTA BARBARA SAGE	L
GROUNDCOVER					
CAR. G.C.	1 GAL	24" O.C.	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	L
VINES					
PAR. QUI.	5 GAL	20	PARTHENOISSUS QUINQUEFOLIA	VIRGINIA CREEPER	M
BIORETENTION					
CAR. PAN.	5 GAL	19	CAREX PANSA	CALIFORNIA MEADOW SEDGE	M
LOM. P.P.	5 GAL	19	LOMANDRA CONFERTIFOLIA 'POM POM'	SHORTY MAT RUSH	L



VISIBILITY TRIANGLE
SIGHT DISTANCE VISIBILITY REQUIREMENT SHALL EXTEND UPWARD SEVEN (7) FEET ABOVE GRADE, THEREBY MAINTAINING A MINIMUM OPEN-AIR SPACE OF FOUR (4) FEET IN THE SIGHT DISTANCE TRIANGLE.
NO PLANT MATERIAL OR LANDSCAPE ELEMENTS SHALL EXCEED 24" HEIGHT IN THESE AREAS.

ROOT BARRIER
INSTALL 24" HIGH DENSITY POLYETHYLENE ROOTBARRIER WITH INTERLOCKING STRIPS AT JUNCTIONS IN ALL TREES CLOSER THAN 6' TO ANY PAVING OR WITHIN 10' FROM PUBLIC RIGHT-OF-WAY SIDEWALK, CURB OR STREET. ROOTBARRIERS WILL NOT BE WRAPPED AROUND ROOT BALL.

MULCH
ALL LANDSCAPE AREAS SHALL BE COVERED IN A 3" LAYER OF SHREDDED BARK MULCH, U.O.N.

ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH A PERMANENT, BELOW-GRADE DRIP IRRIGATION SYSTEM WITH DEDICATED VALVES FOR TREES. ALL REQUIRED IRRIGATION SYSTEMS SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION. NO IRRIGATION RUNOFF OR OVERSPRAY SHALL CROSS PROPERTY LINES OR PAVED AREAS. THERE ARE NO LAWN AREAS PROPOSED FOR THIS PROJECT.

IRRIGATION MUST BE PLACED SO THAT THERE IS NO OVERSPRAY/RUNOFF TO PAVEMENT - MINIMUM 3 FEET SET BACK FROM PAVEMENT.

THE SIGNS, INCLUDING THE PROPOSED POLE SIGN, WILL BE APPROVED UNDER A SEPARATE SIGN PERMIT.

SOIL MANAGEMENT REPORT
A SOIL TEST SHALL BE MADE BY LANDSCAPE CONTRACTOR PRIOR TO THE BEGINNING OF WORK AND THE RECOMMENDATIONS MUST BE USED FOR INSTALLATION.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN LANDSCAPE DESIGN PLAN

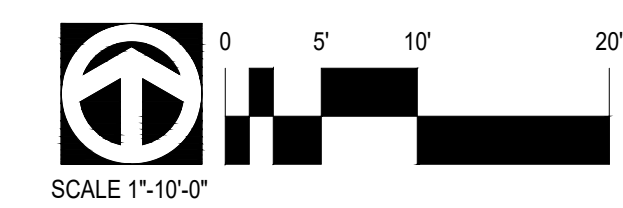
ANGELINA SOTELO, LANDSCAPE ARCHITECT
01.12.26
DATE

A MINIMUM OF 10% OF THE TOTAL OFF-STREET PARKING AREA SHALL BE LANDSCAPED WITH AT LEAST ONE 15-GALLON MINIMUM SIZE TREE WITH ROOT BARRIER PER EA. THREE PARKING STALLS AN APPROPRIATE GROUND COVER:

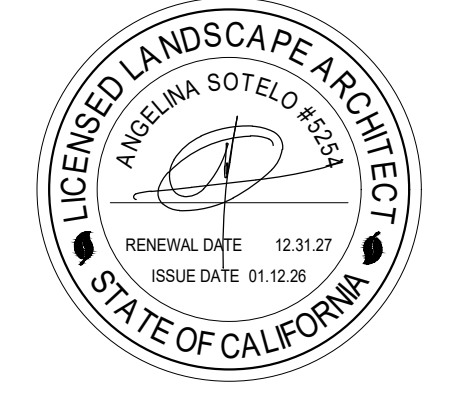
TOTAL OFF-STREET PARKING AREA =	13,530.87 S.F.	100%
MINIMUM LANDSCAPE AREA =	1,353.08	10%
LANDSCAPE AREA PROVIDED =	2,808.54	20.75%

NUMBER OF PARKING STALLS:	19
MINIMUM TREES REQUIRED:	19/3 = 6.33
TREES PROVIDED FOR PARKING:	6

LANDSCAPE CONCEPT PLAN
SCALE 1"=10'-0"



2843 4TH AVENUE
SAN DIEGO CA 92103
PHONE 619.544.1977
ANGELINA@SOTELO.COM
WWW.SOTELO.COM

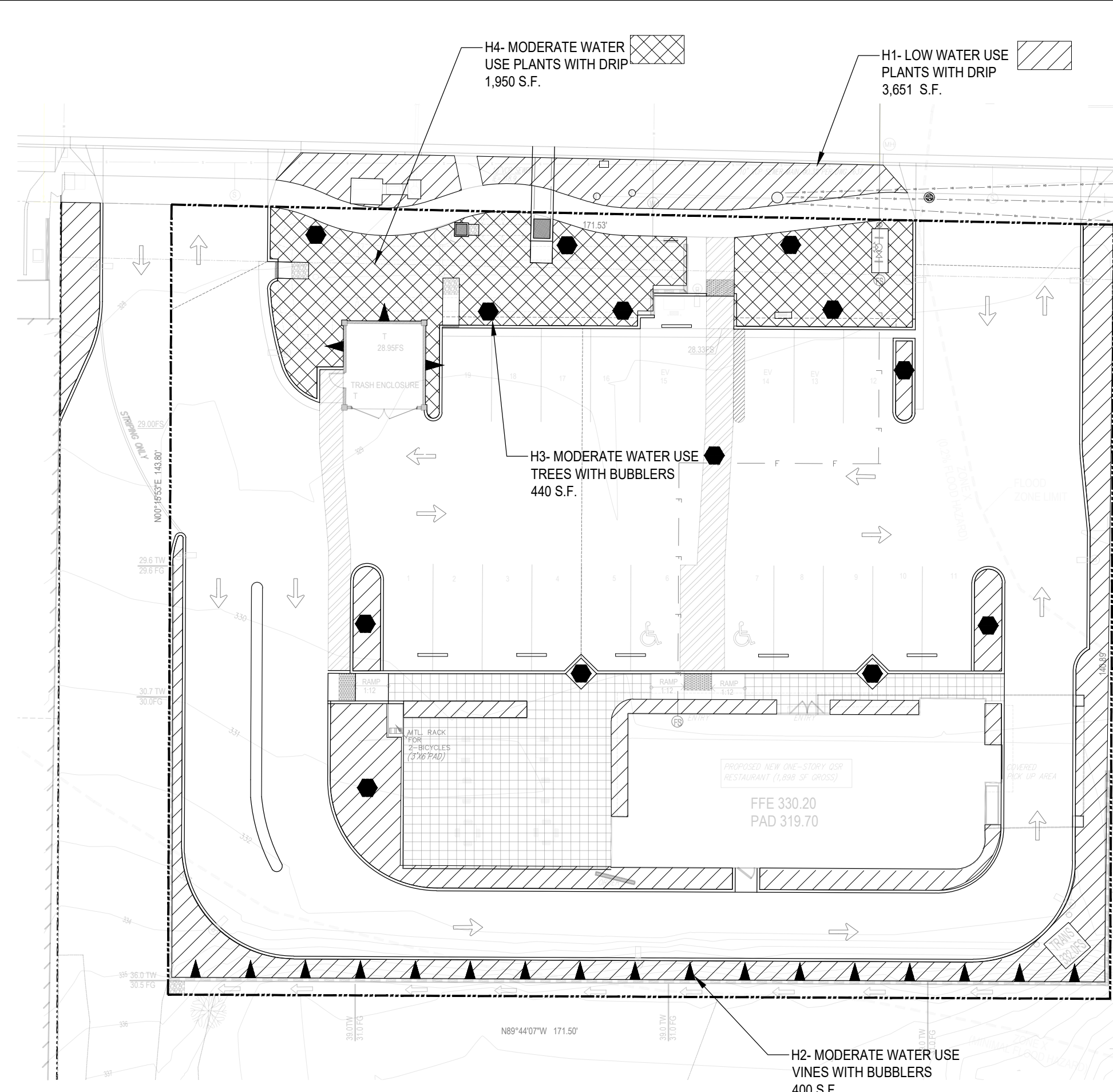


SANTEE TRAILSIDE
9207 MISSION GEORGE RD.
SANTEE, CA 92071

DD	11.12.24
DD	01.31.25
DD	07.03.25
DD	10.02.25
DD	01.12.26

LANDSCAPE CONCEPT PLAN

SHEET
L1.0



HYDROZONE MAP
SCALE: 1"=20'-0"

Appendix B - WATER EFFICIENT LANDSCAPE WORKSHEET

WATER EFFICIENT LANDSCAPE WORKSHEET

DEPARTMENT OF DEVELOPMENT SERVICES
10601 Magnolia Avenue, Santee, CA 92071-1266, (619) 258-4100 ext. 168

This worksheet is filled out by the project applicant for each Point of Connection/Water Meter. Please complete all sections of the worksheet and use additional worksheets if necessary.

1. Project Information

Applicant: LAWRENCE RAFOU Phone: (619) 871-4449
Address: 3974 SPRING DR. SPRING VALLEY, CA 91977 Fax: _____ Email: _____

Property Owner: PRIMO DEVELOPERS LLC Phone: (619) 871-4449
Address: 3974 SPRING DR. SPRING VALLEY, CA 91977 Fax: _____ Email: _____

Project Address: 9207 MISSION GEORGE RD. SANTEE, CA 92071 Project Type: QUICK SERVICE DRIVE-THRU RESTAURANT
Assessor's Parcel Number: 383-124-52-00 & 383-124-18 Water Supply Type: (Potable, recycled, well) MUNICIPAL WATER
Total Landscape Area: 6,548 S.F. Water Purveyor: PADRE DAM

2. Applicant's/Property Owner's Certification

The design of this project complies with the requirements of the City of Santee Water Efficient Landscape Ordinance.

Applicant's/Property Owner's Signature _____ Date: _____

3. Landscape Documentation Package Checklist:

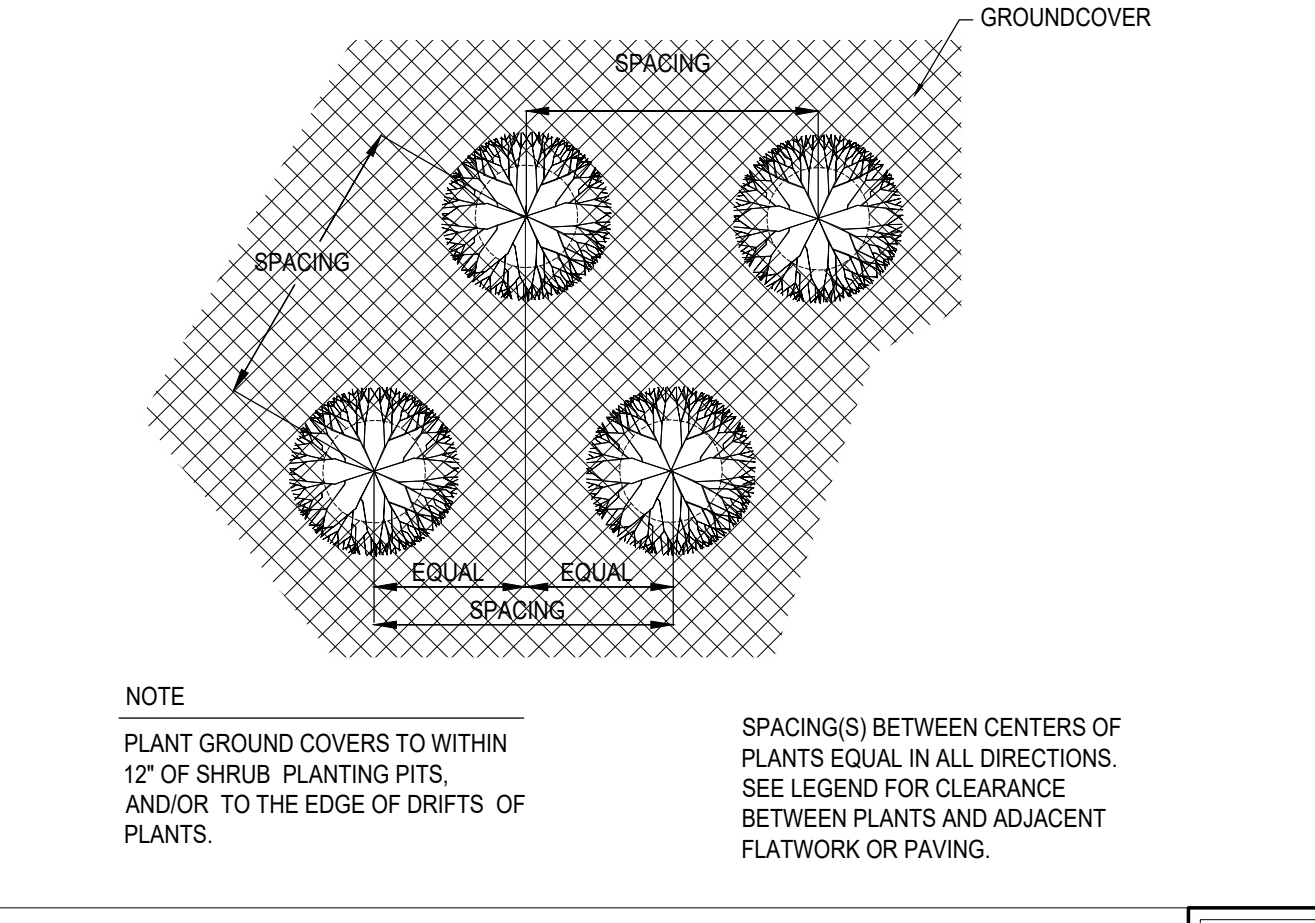
Water Efficient Landscape Worksheet
 Soil Management Report *TO BE SUBMITTED AFTER GRADING, BEFORE CONSTRUCTION
 Landscape Design Plan
 Irrigation Design Plan
 Grading Design Plan

4. Maximum Applied Water Allowance (MAWA) Reference Evapotranspiration (ET_o) 51.2

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
H1 - LOW WATER USE PLANTS	0.2	DRIP	0.81	0.24	3,651 S.F.	876.24	27,815.36	
H2 - MODERATE WATER USE VINES	0.5	BUBBLER	0.75	0.66	400 S.F.	264	8,380.41	
H3 - MODERATE WATER USE TREES	0.5	BUBBLER	0.75	0.66	440 S.F.	290.4	9,218.45	
H3 - MODERATE WATER USE PLANTS	0.5	DRIP	0.81	0.61	1,950 S.F.	1,189.50	37,759.48	
				Totals	6,441 S.F.	2,620.14	83,173.70	
Special Landscape Areas								
					1			
					1			
					1			
				Totals	(C)	(D)		
							ETWU Total	83,173.70
							Maximum Allowed Water Allowance (MAWA) ^e	93,536.87

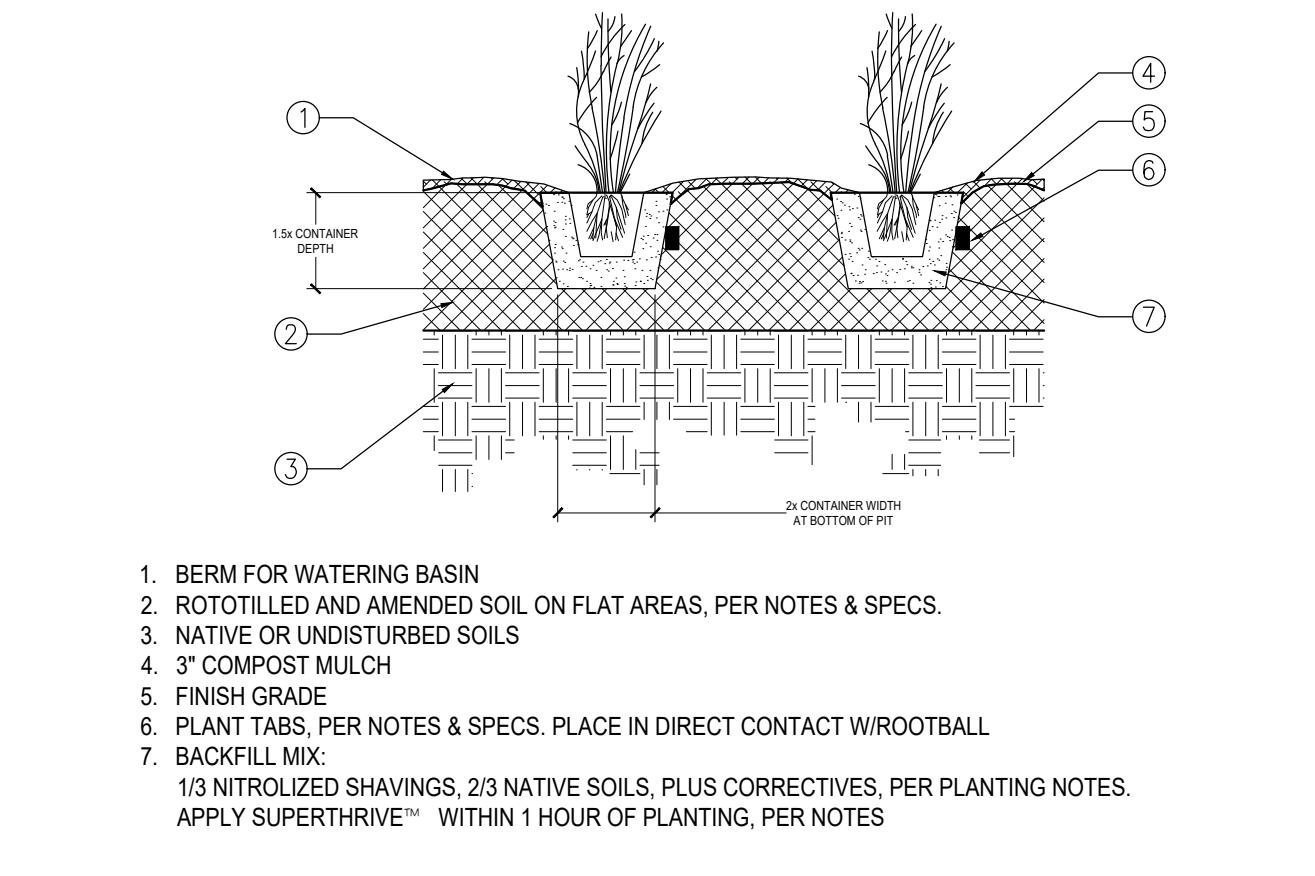
PLANTING NOTES

- A SOIL TEST SHALL BE MADE BY LANDSCAPE CONTRACTOR PRIOR TO THE BEGINNING OF WORK AND THE RECOMMENDATIONS MUST BE USED FOR INSTALLATION. AN IRRIGATION AUDIT REPORT MAY BE REQUIRED BY THE CITY PRIOR TO CERTIFICATE OF OCCUPANCY. IF A CERTIFICATE OF COMPLETION IS REQUIRED BY THE CITY, PLEASE NOTIFY LANDSCAPE ARCHITECT 48 HOURS BEFORE INSPECTION.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTS RECEIVE SUPERTHRIVE VITAMIN SOLUTION AT TIME OF INSTALLATION
- LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE WITHIN PLUS OR MINUS .10 FEET OF FINISH GRADE.
 - THE PLANTING PLANS ARE DIAGRAMMATIC. MINOR ADJUSTMENTS IN PLANT LOCATIONS AND TYPE MAY BE MADE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
 - CONTRACTOR TO BE ADVISED THAT CERTAIN CULTIVARS OR SPECIES OF PLANTS FOR THIS PROJECT MAY ONLY BE AVAILABLE THROUGH RETAIL SOURCES (IE: PATENED MONROVIA SELECTIONS). CONTRACTOR IS FURTHER ADVISED THAT ALL PLANT MATERIAL FOR THIS PROJECT SHALL BE "PREMIUM" NURSERY STOCK.
 - ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND REPLACED UPON REQUEST BEFORE OR AFTER THE PLANTING.
 - THE LANDSCAPE CONTRACTOR WILL COORDINATE HIS WORK WITH THE OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION.
 - PLANT QUANTITIES AND AREAS SHOWN ON LEGENDS ARE FOR CONTRACTORS' CONVENIENCE IN ESTIMATING ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS TO COVER ALL AREAS AS SHOWN ON PLANS.
 - SLOPE ALL PLANTING AREAS AWAY FROM BUILDING AT 2% MINIMUM FOR 5 FEET MINIMUM, WHERE APPLICABLE.
 - LANDSCAPE ARCHITECT SHALL APPROVE FINAL PLACEMENT OF ALL TREES, SHRUBS, AND VINES PRIOR TO PLANTING.
 - TREE AND SHRUB PITS 5 GALLONS AND SMALLER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1-1/2 TIMES CONTAINER DEPTH.
 - TREE AND SHRUB PITS 15 GALLONS AND LARGER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1" LESS THAN CONTAINER DEPTH.
 - TREE STAKING SHALL BE DONE ONLY IF ESSENTIAL AND REQUIRED BY THE LANDSCAPE ARCHITECT. TREES THAT CANNOT STAND WITHOUT THE NURSERY STAKE SHALL BE REJECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TREE'S STABILITY DURING THE LENGTH OF THE GUARANTEE PERIOD. ALL STAKING AND GUYING MATERIALS SHALL BE REMOVED AT THE END OF THE 1-YEAR TREE GUARANTEE PERIOD.
 - DO NOT DAMAGE PLANT ROOTBALL DURING TRANSPORTATION OR PLANTING.
 - CONTRACTOR SHALL USE THE FOLLOWING AMENDMENT SCHEDULE FOR BIDDING PURPOSES ONLY. A SOIL TEST SHALL BE MADE BY LANDSCAPE ARCHITECT, AND RECOMMENDED AMENDMENTS SHALL BE USED FOR ACTUAL INSTALLATION.
 - 100 LBS. OF GYPSUM PER 1000 SQ. FT.
 - 70 LBS. OF TRI-C (6-2-4 W/ 5% SULFUR) PER 1000 SQ. FT.
 - 6 LBS. OF IRON SULFATE PER 1000 SQ. FT.
 - 25 LBS. OF SOIL SULFUR PER 1000 SQ. FT.
 - 5 CUBIC YARDS OF NITROLIZED ORGANIC AMENDMENT PER 1000 SQ. FT. (SEE NOTE 16)
 - AMENDED SOIL SHALL BE ROTOTILLED TO A DEPTH OF 8".
 - NO IRON SULFATE SHALL COME IN CONTACT WITH ANY MASONRY SURFACE.
 - NITROLIZED ORGANIC AMENDMENT SHALL BE HUMIC COMPOST FROM AGRI-SERVICE, LOAMEX™, OR APPROVED EQUAL.
 - A. PLANTING BACKFILL MIX FOR ALL CONTAINER PLANTS SHALL CONSIST OF 1/3 NITROLIZED ORGANIC AMENDMENT AND 2/3 EXISTING SOIL, PLUS 2-1/2 LBS. OF SOIL SULFUR, 2 LBS. IRON SULFATE PER CU. YD., 4 LBS. GYPSUM, AND 8 LBS. OF TRI-C (6-2-4 W/ 5% SULFUR) PER CUBIC YARD.
 - B. ALL PLANTED AREAS SHALL BE WATERED IN THOROUGHLY WITH SARVON™, PER MANUFACTURERS SPECIFICATIONS IN ADVANCE OF PLANTING.
 - C. ALL PLANTS SHALL BE WATERED THOROUGHLY WITH SUPERTHRIVE™ WITHIN 1 HOUR OF PLANTING.
- ALL PLANTS 1-GALLON SIZE OR LARGER SHALL RECEIVE AGRIFORM 21-GRAM 20-10-5 FERTILIZER TABLETS AT THE FOLLOWING RATES:
- ONE PER 1-GALLON; TWO PER 5-GALLON; FIVE PER 15-GALLON; 12 PER 24" BOXED TREES; 18 PER 36" BOXED TREES (SEE L.A. FOR RATES FOR LARGER STOCK). PLACE TABLETS AT HALF THE DEPTH OF THE PLANTING PIT AND 1" FROM ROOTBALL (BOXED TREES SHALL BE IN 2 LAYERS GOING UP ALONG SIDES OF THE ROOTBALL).
- ALL PLANTS INSTALLED FROM FLATS SHALL RECEIVE ONE AGRIFORM 5-GRAM 20-10-5 TABLET EACH, AND ALL 4" POTS SHALL RECEIVE TWO 5-GRAM TABLETS EACH, MIXED WITH A HANDFUL OF PREPARED BACKFILL PER NOTE 17.
- ALL PLANTS PLANTED FROM CONTAINERS SHALL HAVE THEIR ROOTBALLS SCORED WITH A SHARP TOOL TO A DEPTH OF 1" IN THREE LONGITUDINAL INCISIONS AT LOCATIONS SPACED AROUND THE ROOTBALL BEFORE PLACING PLANT IN PLANTING HOLE.
- ALL TYING MATERIALS AND MARKING TAPES SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL SHRUB PLANTING AREAS SHALL BE COVERED WITH A 3" DEEP LAYER OF SHREDDED FIR BARK, OR APPROVED EQUAL. ALL BARK TO BE NITROLIZED WITH 5% NITROGEN. WHEN GRAVEL OR COBBLE GROUNDCOVER IS USED, A LANDSCAPE FILTER FABRIC MUST BE INSTALLED, WITH AN OVERLAP OD 12" MIN. BETWEEN ROLLS AND FASTENED WITH STAPLES FLUSH TO THE FABRIC TO PREVENT MOVEMENT.
- IF THE SOIL TEST PREVIOUSLY MENTIONED SHOWS THAT PERMEABILITY RATES ARE LESS THAN .5" PER HOUR, LANDSCAPE ARCHITECT MAY REQUIRE A TREE DRAIN SYSTEM.
- A LANDSCAPE MAINTENANCE PERIOD OF 90 DAYS SHALL BE CONSIDERED PART OF THIS CONTRACT. REFER TO THE PROJECT SPECIFICATIONS FOR DETAILS.

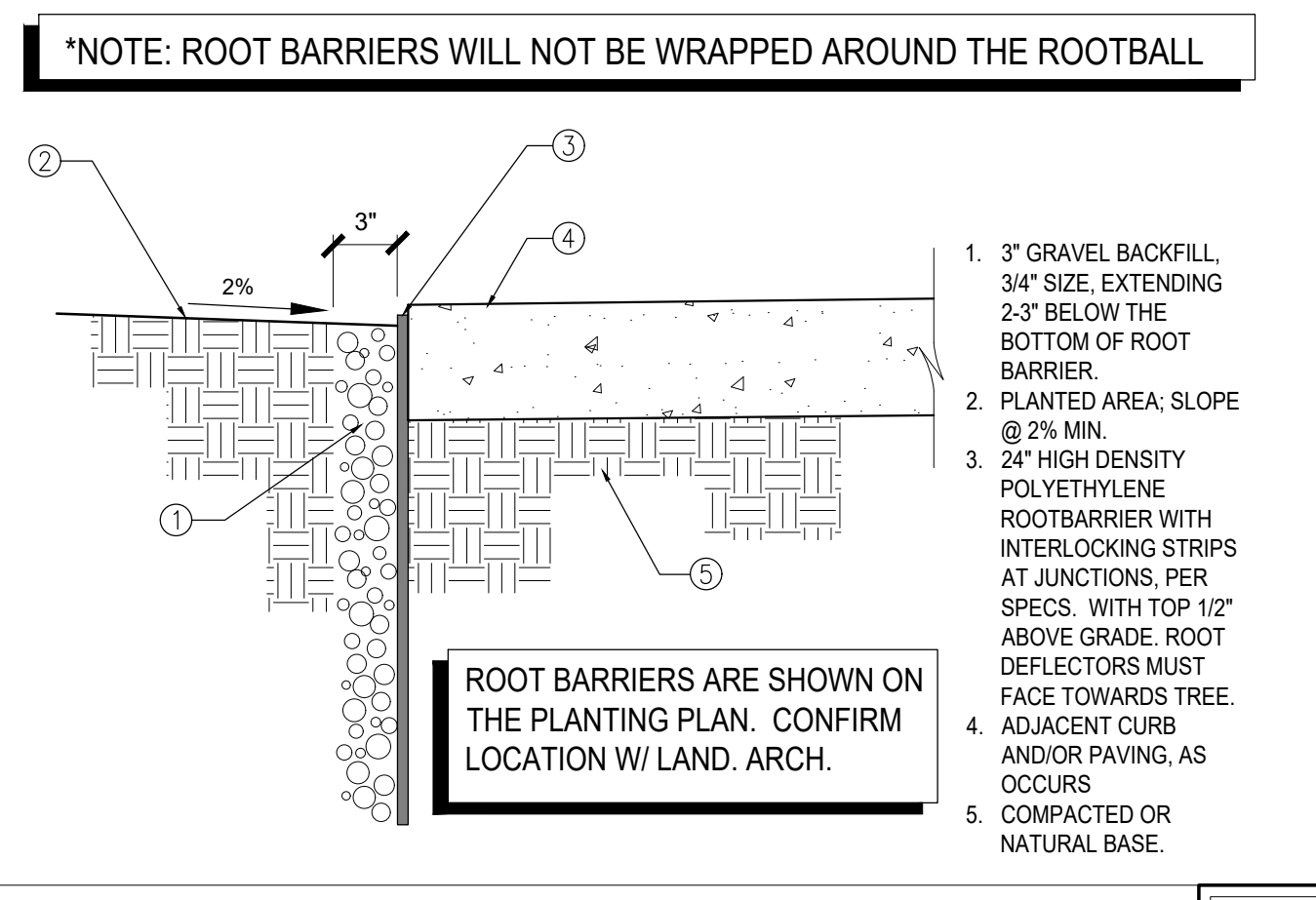


TRIANGULAR SPACING GROUNDCOVERS & SHRUBS
NOT TO SCALE

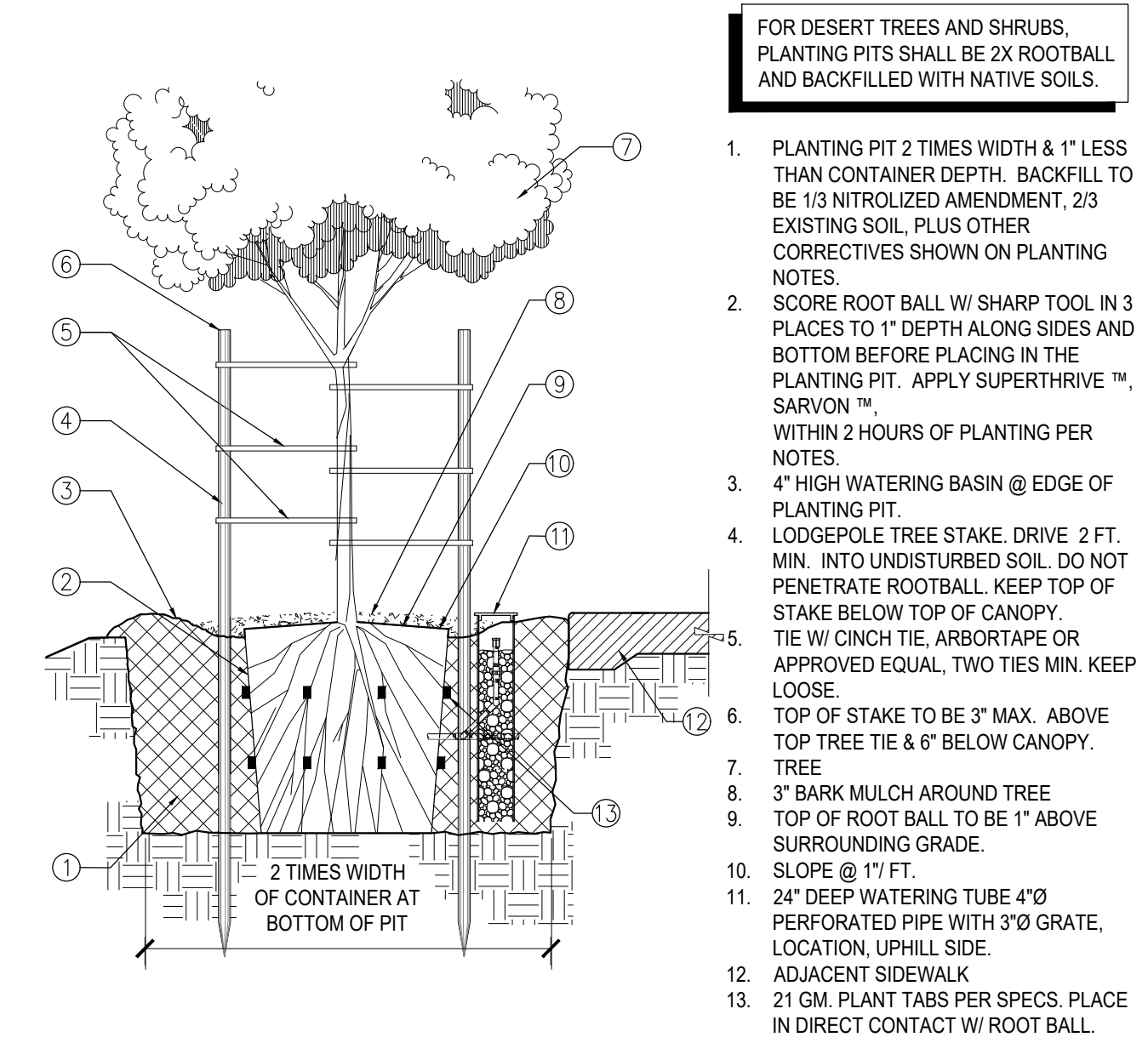
ALL PLANTS INSTALLED FROM FLATS SHALL RECEIVE ONE AGRIFORM 5-GRAM 20-10-5 TABLET EACH, MIXED WITH A HANDFUL OF PREPARED BACKFILL, PER NOTES. ALL 4" POTS SHALL RECEIVE TWO 5-GRAM TABLETS EACH.



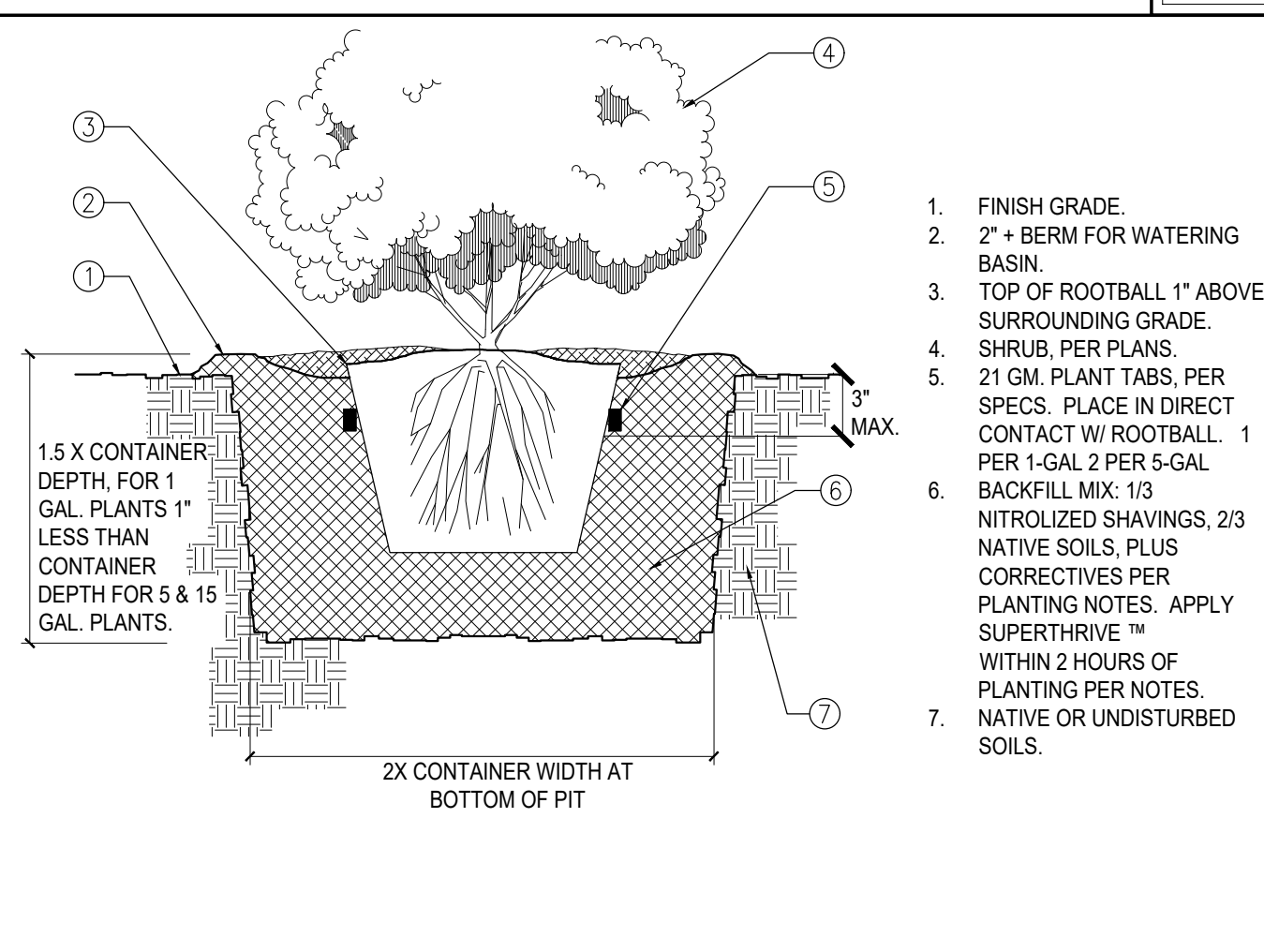
4" POTS (AND SMALLER) AND GROUNDCOVER PLANTING
NOT SCALED



ROOT BARRIER
NOT TO SCALE



TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



2843 4TH AVENUE
SAN DIEGO CA 92103
PHONE 619.544.1977
ANGELINA@SOTELO.COM
WWW.SOTELO.COM

LICENSED LANDSCAPE ARCHITECT
ANGELINA SOTELO #5434
RENEWAL DATE 12.31.27
ISSUE DATE 01.12.26
STATE OF CALIFORNIA

SANTEE TRAILSIDE

9207 MISSION GEORGE RD.
SANTEE, CA 92071

DD	11.12.24
DD	01.31.25
DD	07.03.25
DD	10.02.25
DD	01.12.26

HYDROZONE MAP & WATER CALCS.

SHEET
L1.1



WATER EFFICIENT LANDSCAPE WORKSHEET

DEPARTMENT OF DEVELOPMENT SERVICES
10601 Magnolia Avenue, Santee, CA 92071-1266, (619) 258-4100 ext. 168

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SPRING VALLEY, CA 91977 Email: _____

Property Owner: PRIMO DEVELOPERS LLC Phone: (619) 871-4449
Address: 3974 SPRING DR. Fax: _____
SPRING VALLEY, CA 91977 Email: _____

Project Address: 9207 MISSION GEORGE RD. **Project Type:** QUICK SERVICE DRIVE-THRU REST.
Assessor's Parcel Number: 383-124-52-00 & **Water Supply Type**
383-124-18 6,548 S.F. (Potable, recycled, well) MUNICIPAL WATER
Total Landscape Area: _____ **Water Purveyor:** PADRE DAM

2. Applicant's/Property Owner's Certification

The design of this project complies with the requirements of the City of Santee Water Efficient Landscape Ordinance.

 Applicant's/Property Owner's Signature Date: _____

3. Landscape Documentation Package Checklist:

- Water Efficient Landscape Worksheet
- Soil Management Report * TO BE SUBMITTED AFTER GRADING, BEFORE CONSTRUCTION
- Landscape Design Plan
- Irrigation Design Plan
- Grading Design Plan

4. Maximum Applied Water Allowance (MAWA) Reference Evapotranspiration (ETo) 51.2

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^e
Regular Landscape Areas							
H1-LOW WATER USE PLANTS	0.2	DRIP	0.81	0.24	3,651 S.F.	884.4	27,815.36
H2-MODERATE WATER USE VINES	0.5	BUBBLER	0.75	0.66	400 S.F.	264	8,380.41
H3-MODERATE WATER USE TREES	0.5	BUBBLER	0.75	0.66	440 S.F.	290.4	9,218.45
H4-MODERATE WATER USE PLANTS	0.5	DRIP	0.81	0.61	1,950 S.F.	1,234.03	37,759.48
				Totals	(A)	(B)	83,173.70
					6,441 S.F.	2,620.14	
Special Landscape Areas							
				1			
				1			
				1			
				Totals	(C)	(D)	
ETWU Total							83,173.70
Maximum Allowed Water Allowance (MAWA)^e							93,536.87

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA
APPROVING CONDITIONAL USE PERMIT (CUP-2025-0004) FOR A DRIVE-
THROUGH QUICK-SERVICE RESTAURANT ON A 2.02-ACRE LOT AT 9207
MISSION GORGE ROAD (APN 383-124-52-00) IN THE GENERAL COMMERCIAL
(GC) ZONE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA
ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES
SECTION 15303.**

APPLICANT: LAWRENCE RAFOU, PRIMO DEVELOPERS LLC

WHEREAS, the Santee Municipal Code (SMC) Section 13.12.030 requires a Conditional Use Permit for fast food restaurants with a drive-through in the General Commercial (GC) Zone; and

WHEREAS, on January 21, 2026, Lawrence Rafou, Primo Developers LLC submitted a complete application for CUP-2025-0004 to construct a 1,898 square-foot drive-through quick-service restaurant at 9207 Mission Gorge Road (APN 383-124-52-00) in the GC Zone (Project); and

WHEREAS, the design includes a meandering sidewalk and landscape buffer as recommended in the Community Enhancement Element of the General Plan; and

WHEREAS, the Project is consistent with the applicable General Plan designation of General Commercial (GC) and all applicable General Plan policies as well as with applicable zoning district of General Commercial (GC) and regulations; and

WHEREAS, the Project is exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3 of the CEQA Guidelines (New Construction or Conversion of Small Structures), because the Project consists of constructing a restaurant not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area on a site already developed. Through review of the Project and Project site, none of the exceptions to the Class 3 exemption found in CEQA Guidelines Section 15300.2 apply to the Project; and

WHEREAS, the Project is located within Airport Influence Area 1, Safety Zone 6, of the Gillespie Field Airport Land Use Compatibility Plan (ALUCP) and on December 23, 2025, the Federal Aviation Administration (FAA) provided that no notice was required for submittal to the FAA based on Obstruction Evaluation/Airport Airspace Analysis pre-screening results, and the Airport Land Use Commission (ALUC) determined that the Project is consistent with the ALUCP pursuant to the ALUC determination letter dated March 13, 2026 and public hearing on April 2, 2026; and

WHEREAS, the City has adopted a Capital Improvement Plan (CIP) for Fiscal Years 2022-2026 in accordance with Government Code section 66002 that identifies the public infrastructure services and facilities the City provides, maintains, and improves, such as roads, sidewalks, traffic circulation, water drainage, utilities, and parks in the interest of the public's health, safety, and welfare ("Public Facility or "Public Facilities"); and

RESOLUTION NO.

WHEREAS, the Mitigation Fee Act (Gov. Code sections 66000-66025) authorizes the City to impose fees as a condition of issuing a building permit to offset/ help fund the impacts of new construction of Public Facilities when the purpose and use of the fee is reasonably related to the type of development project and to the need for the Public Facility (Gov. Code section 66001(a)); and

WHEREAS, in 2019, the City adopted a comprehensive Development Impact Fees and Dedication Ordinance, Ordinance 565, which was amended by Ordinance 612 in 2023, to require the Finance Director to annually prepare and make available to the public a report that, among other things, demonstrates the relationship between development impact fees and the City's determination and use of such fees consistent with the Mitigation Fee Act; and

WHEREAS, Resolution 097-2023 recognizes that new development requires the construction of capital improvements such as drainage improvements, traffic improvements, traffic signals, public park facilities, community facilities and other public improvements, public services and community amenities. The resolution provides the current City of Santee Development Impact Fee Report, and makes findings related to the purpose and use of the City's impact fees, how the fees relate to a development project and impact on Public Facilities, and how the individual fees are calculated; and

WHEREAS, on January 22, 2025, the City adopted Ordinance 621, approved a Nexus Impact Study, adopted new impact fee categories, and approved updated development impact fees for all new development; and

WHEREAS, Ordinance 621 became effective 30 days after its adoption; and

WHEREAS, the Project calls for new construction that will both benefit from and burden various Public Facilities based on the demand generated by the Project for those facilities, including drainage, traffic, traffic signals, fire facilities, long range planning and program administration. As a result, the Project is subject to the assessment of development impact fees based on the Project's commercial use and size and measured by its proportional contribution to the cost of capital improvements to specific Public Facilities; and

WHEREAS, it is in the interest of the public's health, safety, and welfare for the Project to pay the costs of constructing these public facilities that are reasonably related to the impacts of the Project; and

WHEREAS, the development impact fees established for the Project are based on the project's size to ensure a reasonable proportionality between the Project and the cost of the facilities attributable to the Project with the project. The project proposed an increase in commercial square footage from 1,000 square feet to 1,898 square feet, with the fee estimate based on the net gain of 898 square feet; and

WHEREAS, the Project is not subject to Measure N as the Project is not a General Plan amendment, within a Planned Development Area, a new Specific Planning Area, nor would it increase the residential density permitted by law, make changes to the General

RESOLUTION NO.

Plan Residential Land Use categories that would intensify use, make changes to the land use designation of any parcel in a manner that intensifies use, nor make changes to slope criteria, minimum parcel sizes, or lot averaging provisions of the General Plan that would permit increased density or intensity of use; and

WHEREAS, the Planning & Building Department scheduled CUP-2025-0004 for public hearing on April 8, 2026; and

WHEREAS, on April 8, 2026, the City Council held a duly advertised public hearing on CUP-2025-0004; and

WHEREAS, the City Council considered the Staff Report, the CEQA Exemption, all recommendations by staff, public testimony, and all other relevant information contained in the administrative record regarding the Project.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Santee, California that, after considering the evidence presented at the public hearing, the City Council hereby finds as follows:

SECTION 1: On April 8, 2026, the City Council authorized filing a CEQA Notice of Exemption after determining the Project exempt from CEQA pursuant to Section 15303, Class 3 of the CEQA Guidelines (New Construction or Conversion of Small Structures) because the Project consists of constructing a restaurant not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area on a site already developed. Through review of the Project and site, none of the exceptions to the Class 3 exemption found in CEQA Guidelines Section 15300.2 apply to the Project. No further environmental review is required for the City to adopt this Resolution.

SECTION 2: The following circumstances, required by SMC Section 13.06.030(E)(1)-(4) to be met prior to the issuance of a Conditional Use Permit, are found to apply for the reasons stated:

A. *That the proposed use is in accord with the General Plan, the objectives of the zoning ordinance, and the purposes of the district in which the site is located.*

The proposed use complies with the Santee General Plan, the objectives of the Development Code, and the purpose of the district in which the site is located. The site is located in the GC zone district, which is intended primarily for a range of retail and service activities, but also allows restaurants with drive-through services with a Conditional Use Permit. The development has been designed to meet the design standards of the Mission Gorge Road Corridor of the Community Enhancement Element. This includes the incorporation of a 20-foot front yard landscape buffer (10-foot easement for public access/meandering sidewalk and 10-foot landscape buffer) starting from the City's right-of-way.

B. *That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to*

RESOLUTION NO.

properties or improvements in the vicinity.

The proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity because:

1. The building is separated from surrounding uses on the lot by a retaining wall and landscaping; and
2. The building is set back from Mission Gorge Road to the extent feasible and all setbacks and unused areas will be landscaped; and
3. The project does not propose any permanent structures or uses within the flood zone partially located on the northeast corner of the lot; and
4. On-site circulation, queue design, and operational procedures will ensure drive-through traffic can be adequately contained on the subject property; and
5. Site development includes two driveways from Mission Gorge Road and a drive-through facility design that avoids traffic backup onto adjoining roadways as substantiated by a corresponding technical analysis memorandum and the City's Vehicle Miles Traveled Guidelines; and
6. Noise from construction and operational activities will not be detrimental to surrounding properties as conditions of approval, herein, require construction activities to not be conducted before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and at any time on Sundays and holidays.

C. *That the proposed use complies with each of the applicable provisions of the zoning ordinance.*

The proposed use complies with each of the applicable provisions of the SMC including building setbacks, landscaping, and lighting. The quick-service restaurant with drive-through service is a permitted use in the GC zone with approval of a Conditional Use Permit and the buildings, parking, parking lot lighting, and site landscaping have been designed to be consistent with the design criteria outlined with SMC. All proposed private improvements necessary for the project will meet the City's Public Works standards.

D. *Regarding all properties designated as general commercial, neighborhood commercial or office professional: Development and redevelopment shall be comprehensively designed, entitled and developed whenever it is determined by the City that the permitting of incremental construction and uses may significantly inhibit or otherwise be detrimental to fulfilling the economic and development potential of the site. Any development review permit, conditional use permit or minor conditional use permit which is not consistent with this policy shall be denied.*

RESOLUTION NO.

The project site is located in the GC zone, and the proposed development has been comprehensively designed with carefully placed buildings, parking areas, landscaping and other site improvements that adequately reflect surrounding uses and site conditions.

SECTION 3: CUP-2025-0004 is hereby approved subject to the following conditions:

ANY PERMIT: Prior to the approval of any plan, issuance of any permit, and prior to occupancy or use of the premises in reliance of this permit, the applicant shall complete the following to the satisfaction of the applicable Department.

1. Minor or Major Revisions to the Conditional Use Permit, such as changes to the building elevations, site design, or landscape design shall be approved by the Planning & Building Director/City Planner, unless in the Planning & Building Director/City Planner's judgment, a Major Revision should be reviewed by the City Council. The exterior colors of the building shall be limited to red and white, as approved with this project. Any proposed modification to the approved color scheme shall be subject to review and approval by the Planning & Building Director through the Revision process. (Planning)
2. Approval of CUP-2025-0004 does not include any other parcels or lots beyond the scope of work or specified project boundary shown on the approved site plan. (Planning)
3. The project shall comply with the adopted California Building Standards Code at the time of building permit application and shall be subject to the time limits set under SMC Section 11.04.030 "Expiration of Plan Review" (Building)
4. All building permits shall be subject to expiration as set by California Building Code (CBC) Section 105. (Building)
5. The project shall comply with California Green Building Standards Code Tier 2 requirements. (Building)
6. The project shall provide nineteen (19) total parking spaces. There shall be fourteen (14) standard spaces, two (2) Electric Vehicle Charging Station (EVCS) parking spaces, one (1) accessible EVCS space, and two (2) accessible parking spaces. (Planning and Building)
7. All construction shall be in substantial conformance with the project plans approved on April 8, 2026, and as amended by this Resolution. (All Departments)
8. The applicant shall comply with all applicable requirements of the SMC, Land Development Manual, and Public Works Standards of the City of Santee. (All Departments)
9. The applicant shall obtain building permits, as necessary, for the proposed work in compliance with all applicable SMC sections, Uniform Building Code, CBC,

RESOLUTION NO.

Uniform Plumbing Code, National Electric Code, Uniform Mechanical Code, Public Works Standards of the City of Santee, and all requirements of the Fire Department. (All Departments)

BUILDING PERMIT: Prior to approval of any building plan and the issuance of any building permit, the applicant shall complete the following to the satisfaction of the applicable Department.

10. A solar permit must be submitted and approved showing a system with a generating capacity of at least 1.5 watts of energy per square foot of building area. (Building)
11. Fire sprinklers are required in all new buildings. (Building)
12. Trash receptacles shall be enclosed by a solid six-foot-high decorative block or stucco wall with view obstructing metal gates painted to match the proposed building. A solid-covered roof and mesh screens shall also be provided for the trash enclosure, subject to approval of the Planning & Building Director. (Planning)
13. Any proposed site walls shall be constructed of split-faced block or similar decorative material. (Planning)
14. All new signs shall be approved separately through a Sign Permit subject to the requirements of SMC Chapter 13.32. (Planning)
15. Any equipment, whether on the roof, on the side of a building, or on the ground, shall be screened from view. The method of screening shall be architecturally integrated with the building design in terms of material, color, shape and size. All elevations submitted for building plan check shall show the method of screening of any proposed rooftop mechanical equipment. (Planning)
16. Parking lot lights shall not exceed 15 feet in overall height from finished grade and shall be fully shielded so as not to cause glare on adjacent properties. (Planning)
17. A landscape plan shall be submitted that meets the requirements of the City's Water Efficient Landscape Ordinance. The landscape plan shall be prepared by a licensed landscape architect, and the landscaping shall be to the satisfaction of the Planning & Building Director. (Planning)
18. Provide a Construction and Demolition debris deposit as required by Chapter 9.04 of the SMC. (Planning)
19. The project shall utilize high-efficiency equipment and fixtures consistent with the current California Green Building Standards Code and Title 24 of the California Code of Regulations. The project shall include the installation of infrastructure to make the proposed project solar-ready. (Planning)

RESOLUTION NO.

20. A deferred submittal is required for the private fire service main. The complete private fire service main submittal, including plans, specifications, hydraulic calculations to the most remote fire hydrant (if applicable), and manufacturer information, shall be submitted to the Santee Fire Department for review and approval prior to installation.
- a. The deferred submittal must comply with all applicable provisions of the California Fire Code, NFPA 24, and City of Santee Fire Code Amendments.
 - b. The submittal package shall clearly identify the scope of work, materials, installation details, and coordination with other fire protection and water supply systems.
 - c. No installation of the private fire service main or associated components shall proceed until the deferred submittal has been reviewed and approved by the Santee Fire Department.
 - d. Any modifications to the approved fire service main design during construction must be resubmitted for review and approval.
 - e. Final approval shall be contingent upon successful inspection and verification of compliance with the approved submittal and applicable codes. (Fire)
21. A Construction Safety Plan, meeting the requirements of California Fire Code (CFC) Chapter 33, shall be submitted at the time of building permit application. The plan must be reviewed and approved by the Santee Fire Department prior to issuance of a construction permit. The Construction Safety Plan shall include the following:
- a. Designation and contact information for the site safety director
 - b. Training documentation for safety personnel and fire watch staff
 - c. Procedures for emergency reporting
 - d. Fire department vehicle access routes
 - e. Locations and types of fire protection equipment (including extinguishers, standpipes, fire department connections, hydrants)
 - f. Policies and signage for smoking and cooking, where allowed, per CFC Section 3305.8
 - g. Provisions for temporary heating equipment and its safe use
 - h. Hot work safety procedures
 - i. Combustible waste control measures
 - j. Storage and handling procedures for flammable and hazardous materials
 - k. Site security measures
 - l. Procedures for changes affecting safety during construction
 - m. Any additional site-specific requirements as determined by the Santee Fire Department (Fire)

RESOLUTION NO.

22. Prior to permit issuance, the property owner shall provide a completed and signed Owner's Certificate stating the intended use and hazard classification of the building in accordance with NFPA 13. This certificate is required to ensure proper design and installation of the fire sprinkler system based on the anticipated hazard classification.
 - a. The hazard classification shall be determined consistent with NFPA 13 and may include Light Hazard, Ordinary Hazard (Group 1 or 2), or Extra Hazard (Group 1 or 2), reflecting the level of combustibility and fire severity potential of the occupancy.
 - b. The Owner's Certificate shall specify the building's occupancy use and hazard classification as evaluated by the design professional, enabling verification of compliance with applicable sprinkler design criteria.
 - c. The submitted certificate must be reviewed and approved by the Santee Fire Department prior to issuance of the building permit.
 - d. Any changes in use or hazard classification during construction or occupancy shall be reported immediately to the Santee Fire Department, and sprinkler system design adjustments shall be made accordingly.
 - e. No permits shall be issued until the Owner's Certificate is received and approved, ensuring sprinkler system design aligns with nationally recognized standards and local Fire Code Amendments. (Fire)
23. Applicant is to provide a GIS-based floor plan to the Santee Fire Department. GIS data in the form of a Shapefile, Geodatabase, KML, or any other GIS data format is preferred. Alternatively, PDF, PNG, or JPEG are acceptable with supporting CAD data. (Fire)
24. The applicant shall include provisions in their design contract with their design consultants that following approval by the City, all construction drawings or technical reports accepted by the City, exclusive of architectural building plans, shall become the property of the City. Once accepted, these plans may be freely used, copied or distributed by the City to the public or other agencies, as the City may deem appropriate. A letter of acknowledgement of this requirement from each design consultant is required at the time of plan submittal. This letter shall be in a format acceptable to the Engineering Director/City Engineer. (Land Development)
25. To coordinate with the City Geographic Information System, horizontal and vertical control for all construction drawings, grading plans, landscape plans, street improvement plans, plot plans, etc., shall be obtained from Record of Survey (ROS) 11252. All plans, exclusive of building plans, shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the project engineer. (Land Development)

RESOLUTION NO.

26. Applicant shall ensure that all property corners are properly monumented. If corners have been lost or do not exist, corners shall be set and a ROS filed prior to issuance of a building permit. (Land Development)
27. Starting with the first plan check submittal, all plan sets shall be submitted concurrently to Padre Dam Municipal Water District for review and approval. The City does not coordinate the review process with Padre Dam, this is the responsibility of the design engineer and the landscape architect. Failure to properly coordinate this review may result in delay of issuance of permits required for construction. It is incumbent upon the applicant to oversee the plan submittals of their design consultants. (Land Development)
28. **Street Improvement Plans** shall be submitted to the Engineering Department for review and acceptance. Prior to the start of construction of any improvements, public or private, within the limits of the public right-of-way, the applicant shall have plans accepted, agreements executed, securities posted and an encroachment permit issued. All improvements shall be installed in accordance with City standards and at the applicant's cost unless otherwise indicated. The following improvements are conditioned as part of this development:
 - a. Construct two 30-foot-wide commercial driveways on Mission Gorge Road per City of Santee Standards. The driveway design shall be per the City of Santee Public Works Standard Drawing PW-38 and to the satisfaction of the Director of Engineering/City Engineer.
 - b. Install one curb outlet per SDRSD D-25, Type A, along Mission Gorge Road to convey the emergency overflow from the biofiltration basin. Outlet shall be installed perpendicular to the curb face.
 - c. Repair or replace failed or inadequate pavement to the centerline of the street on Mission Gorge Road to the satisfaction of Director of Engineering/City Engineer.
 - d. Public improvements shall be installed in accordance with Mission Gorge Road Design Standards per the City of Santee General Plan. Install new meandering concrete sidewalk adjacent to the site on Mission Gorge Road. Improvements shall be to the satisfaction of the Engineering Director/City Engineer.
 - e. Street Improvement plans shall be one hundred percent (100%) complete at the time of plan check submittal, be prepared in accordance with City guidelines and the requirements set forth herein, and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. The applicant shall make an electronic submittal via the City of Santee Permitting and Licensing Portal. The items to be submitted include but are not limited to the following:
 - 1) 100% complete improvement plans.
 - 2) Estimate for the cost of construction.

RESOLUTION NO.

- 3) Resolution of Approval approving the project.

In addition to the above electronic submittal requirements, one hard copy of the full-sized improvement plans shall be provided to the project engineer. Plan check and inspection fees shall be paid in accordance with the City Fee Schedule. The amount due will be determined by staff after the initial intake. To begin the review process, fees must be paid in full. (Land Development)

29. **Precise Grading Plans** shall be submitted to the Engineering Department for review and acceptance.
- a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
 - b. Project landscape and irrigation plans shall be part of the grading plan set and must be submitted during the first grading plan check.
 - c. Retaining walls shall be adequately designed by a licensed engineer and shall incorporate wall drainage with appropriate outlet.
 - d. All recommended measures identified in the approved geotechnical study shall be incorporated into the project design and construction.
 - e. The project shall design the drainage system to flow via gravity. However, should a pump system be proposed, the pump shall not outlet directly to the public right-of-way without first discharging on-site to reduce velocity and ensure water quality prior to entering the City's Municipal Separate Storm Sewer Systems (MS4). From on-site, this drainage shall flow through a vegetated area a minimum length of 10 feet prior to leaving the site by a SDRSD D-25 Type A. The discharge produced shall be a quantity and/or velocity that mimics existing pre-development conditions. Further, the site shall be designed such that a pump failure will result in an overflow condition that will not flood the site, adjacent properties, and or leave with erosive velocities. The final design shall be to the satisfaction of the Engineering Director/City Engineer.
 - f. Grading plans shall include preliminary recommendations for all pavement design sections within the project limits. The pavement structural section shall be designed based on the "R" value method using a minimum traffic index of 5.5. Structural sections shall consist of asphalt concrete over approved aggregate base material. Minimum concrete section shall be 5 1/2 inches Portland Cement Concrete (PCC) over compacted, non-expansive soil. Mix design shall be a minimum class 520-C-2500. R-value test data and design calculations shall be submitted for approval to the Engineering Department a minimum of seven days prior to placement of paving. The pavement design report shall conform to City of Santee Form 435 – PAVEMENT DESIGN AND R-VALUE TEST SUBMITTAL PROCEDURES.
 - g. Grading plans shall be one hundred percent (100%) complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not

RESOLUTION NO.

be accepted for plan check. The applicant shall make an electronic submittal via the City of Santee Permitting and Licensing Portal. The items to be submitted include but are not limited to the following:

- 1) 100% complete Grading, landscape, and irrigation plans.
- 2) A completed grading permitting application.
- 3) Estimate for the cost of construction.
- 4) Drainage Study specified here within.
- 5) Storm Water Quality Management Plan (SWQMP) specified here within.
- 6) Operation & Maintenance (O&M) plan specified here within.
- 7) Geotechnical Study specified here within.
- 8) Hydraulic Study and Hydraulic Analysis specified here within.
- 9) Letters of permission from any adjoining property owners if grading is proposed off-site. Letters shall be in a form acceptable to the City.
- 10) Letters of acknowledgement signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.
- 11) Resolution of Approval approving the project.

In addition to the above electronic submittal requirements, one hard copy of the above-mentioned full-sized plans, documents and reports shall be provided to the project engineer. Plan check and inspection fees shall be paid in accordance with the City Fee Schedule. The amount due will be determined by staff after the initial intake. To begin the review process, fees must be paid in full. (Land Development)

30. Provide a geotechnical study prepared in accordance with the Santee General Plan. All recommended measures identified in the approved study shall be incorporated into the project design. The Geotechnical/Seismic Hazard Study for the Safety Element of the Santee General Plan which details, in Table A-1, study criteria necessary to conform to the General Plan requirements, can be accessed from the City's website.
 - a. The geotechnical report shall analyze any proposed infiltration techniques (trenches, basins, dry wells, permeable pavements with underground reservoir for infiltration) for any potential adverse geotechnical concerns. Geotechnical conditions such as: slope stability, expansive soils, compressible soils, seepage, groundwater depth, and loss of foundation or pavement subgrade strength should be addressed, and mitigation measures provided. (Land Development)
31. Applicant consents to annexation of the property under development to the Santee Roadway Lighting District and agrees to waive any public notice and hearing of the transfer. Applicant shall pay the necessary annexation costs and upon installation

RESOLUTION NO.

of any street lights required for the development, pay the necessary street light energizing and temporary operating costs. (Land Development)

32. Applicant shall pay all development impact fees in effect at the time of issuance of building permits. With an increased commercial square footage from 1,000 square feet to 1,898 square feet, at present, the fee estimate is based on a net gain of 898 square feet:

a. Traffic Signal	\$1,726.54	or	\$ 1,922.65/ 1000 sf
b. Traffic Mitigation	\$ 12,330.83	or	\$ 13,731.44/ 1000 sf
c. Drainage	\$1,547.90	or	\$ 1,723.72/ 1000 sf
d. Fire Facilities	\$812.73	or	\$ 905.04/ 1000 sf
e. Long Range Planning	\$ 36.49	or	\$ 40.64/ 1000 sf
f. Administration	\$329.09	or	\$ 366.47/ 1000 sf

Total \$ 16,783.58

Development Impact Fee amounts shall be calculated in accordance with current fee ordinances in effect at issuance of building permit. Fees shall be adjusted on an annual basis in accordance with the Municipal Code. The applicant shall provide site and building footage certified by their engineer of work to Engineering Director/City Engineer for approval for use in calculating the final fee amounts. (Land Development)

33. Following issuance of a grading permit the applicant shall complete rough grading in accordance with the approved grading plans and the recommendations of the project's geotechnical engineer. Following completion of the rough grading and prior to issuance of any building permits, provide three originals of the pad compaction certification from the geotechnical engineer and three originals of the pad elevation certification from the project civil engineer to the City project engineer. (Land Development)
34. Provide a drainage study prepared by a registered Civil Engineer, with demonstrated expertise in drainage analysis and experience in fluvial geomorphology and water resources management. Storm drainage shall be designed to adequately convey storm water runoff without damage or flooding of surrounding properties or degradation of water quality.
- a. The drainage study shall identify and calculate storm water runoff quantities expected from the site and upstream of the site and verify the adequacy of all on-site or off-site facilities necessary to discharge this runoff. The drainage system design shall be capable of collecting and conveying all surface water originating within the site, and surface water that may flow onto the site from upstream lands, and shall be in accordance with the latest adopted Master Drainage Plan, the requirements of the City of Santee Public Works Standards, including analysis of the 10-year, 50-year and 100-

RESOLUTION NO.

year frequency storms, and be based on full development of upstream areas.

- b. The drainage study shall compute rainfall runoff characteristics from the project area including, at a minimum, peak flow rate, flow velocity, runoff volume, time of concentration, and retention volume. These characteristics shall be developed for the 10-year, 50-year and 100-year frequency six-hour storm during critical hydrologic conditions for soil and vegetative cover. Storm events shall be developed using isopluvial maps and in accordance with the San Diego County Hydrology Manual. (Land Development)
35. Provide a Storm Water Quality Management Plan (SWQMP) prepared and in accordance with the City of Santee Storm Water Ordinance and in accordance with the City of Santee Best Management Practices (BMP) Design Manual dated February 2016. The SWQMP must include best management practices (BMPs) to address water quality and hydromodification. An Operation and Maintenance Plan describing maintenance requirements and costs for BMP maintenance and provision of maintenance verification shall be provided.

The SWQMP shall include the following:

- a. Develop and implement appropriate Best Management Practices (BMPs) to ensure that the project does not increase pollutant loads from the site. A combination of respective storm water BMPs, including Site Design, Source Control, and Structural Treatment Control shall be implemented in accordance with the approved SWQMP.
- b. The project design shall incorporate Low Impact Development (LID) and site design BMPs to minimize directly connected impervious areas and to promote infiltration using LID techniques as outlined in the County of San Diego's LID handbook. Parking areas shall be designed to drain to landscape areas. Private roads shall be designed to drain to vegetated swales or landscaped areas.
- c. The site shall comply with full trash capture requirements by providing completely enclosed trash and recycling enclosures, and fitting all storm drain inlets with a State certified grate/screen or trash rack. Said devices must be designed to capture debris of 5 mm or greater, while preventing flooding potential. In addition, any adjacent public storm drain inlet structure to which the site discharges must also be retrofitted with trash capture devices. The device which shall be used for public inlets is the ADS FlexStorm Connector Pipe Screen system or approved equal.
- d. All inlets must be labeled with concrete stamp or equivalent - stating, "No Dumping - Drains to River". If work is performed on a public inlet, the public inlet must be labeled with the following standard specification: Public storm drain inlet markers shall be 4" diameter, stainless steel, natural embossed, inlet marker as manufactured by Almetek Industries or approved equal. Marker shall contain/state "No Dumping" with "Fish w/ Wave" symbol and "Drains to Waterways" legend. Marker shall contain 2" long x 1/4" diameter

RESOLUTION NO.

threaded rod and shall be installed flush and wet-set in top of inlet, centered on width of inlet opening.

- e. Down spouts and HVAC systems are not permitted to be connected to any storm drain conveyance system. All non-storm water discharges must either drain to landscaped areas, or be plumbed to the sewer.
 - f. Fire suppression systems must be designed to be able to discharge to a sewer clean out for all maintenance and testing activities, or otherwise captured and contained on-site.
 - g. California native/drought-tolerant plants shall be used to the maximum extent feasible to minimize the need for irrigation. Where irrigation is necessary, then the system shall be designed and installed to prevent overspray or irrigation runoff during normal operations and during a break in the line.
 - h. The final project submittal shall include a standalone Operation and Maintenance (O&M) Plan in accordance with the City of Santee BMP Design Manual.
 - i. At a minimum the SWQMP shall contain specific information regarding any proposed pump. At a minimum, the report shall specify pump testing procedures and inspection frequency. The report shall discuss the treatment of water that has not dissipated from the basin within 72 hours and include training requirements for on-site personnel on how to operate the system in the event the BMP is not operating as intended, specifically the handling of stagnant water. Final approval of the SWQMP shall be to the satisfaction of the Engineering Director/City Engineer.
 - j. Brow ditch along the southern property boundary must be privately maintained by the development property owner / manager. (Land Development)
36. Prior to Occupancy:
- a. Provide two print copies and a digital copy of both the final approved Storm Water Quality Management Plan and the Operation and Maintenance Plan.
 - b. Submit a print and digital copy of the BMP Certification package. The BMP certification package includes but is not limited to: 'wet' signed and stamped certification form(s), all BMP related product receipts and materials delivery receipts, an inspection and installation log sheet, and photographs to document each stage of BMP installation.
 - c. Prior to issuance of occupancy, an executed contract must be in place with a qualified storm water service provider and a copy of the SWQMP provided to the consultant and the property owner / manager. (Land Development)
37. A Storm Water Facilities Maintenance Agreement accepting responsibility for all structural BMP maintenance, repair and replacement as outlined in said O&M plan binding on the land throughout the life of the project will be required prior to issuance of building permit. (Land Development)

RESOLUTION NO.

38. Provide a hydrology study and hydraulics analysis to determine the boundary and elevation of the floodway and floodplain for Forester Creek adjacent to the project in accordance with the Santee Flood Damage Prevention Ordinance. (Land Development)
39. Applicant shall provide a traffic study prepared in accordance with City guidelines and have same approved by the City Traffic Engineer. (Land Development)
40. Submit a current preliminary title report (dated within six months of plan submittal) and all documents listed in the title report. Copies of recorded documents must be clear and legible copies of the original recorded document. (Land Development)
41. The applicant shall comply at all times with the following work hour requirements:
 - a. No site work, building construction, or related activities, including equipment mobilization will be permitted to start on the project prior to 7:00 am and all work for the day shall be completed by 7:00 pm, no exceptions.
 - b. No work is permitted on Sundays or City Holidays.
 - c. No deliveries, including equipment drop-off and pick-up, shall be made to the project except between the hours of 8:00 am and 6:00 pm, Monday through Saturday, excluding Sundays and City Holidays. Deliveries of emergency supplies or equipment necessary to secure the site or protect the public are permitted.
 - d. If the applicant fails or is unable to enforce compliance with their contractors, subcontractors and material suppliers regarding the specified work hours, additional reduction of work hours may be imposed by the Engineering Department.

In addition to the above the applicant shall erect one or more signs stating the work hour restrictions. Signs shall be installed as may be required, in the vicinity of the project construction trailer if a job site trailer is used, or at such other locations as may be deemed appropriate by the Engineering Department. The sign shall be a minimum of 24" x 36" and shall be weather proofed. The sign content shall be provided by the Engineering Department. (Land Development)

42. Trench work when required within City streets shall be completed within two weeks of the initial start date, including placement of the final trench patch. Trench plates or temporary pavement placement shall be installed at the end of each work day. Advance warning signs on lighted barricades notifying the public of trench plates and or uneven pavement shall be placed and maintained until permanent pavement repairs are made. The maximum length of time including weekends and holidays that trench plates may remain on the street is 72 hours after which temporary or permanent asphalt paving shall be placed. (Land Development)
43. Vehicle access on Mission Gorge Road, Cuyamaca Street, Olive Lane, Town Center Parkway, Carlton Hills Boulevard, Woodside Avenue, and Riverview Parkway shall be maintained at all times and all work shall be done at night unless otherwise approved by the Engineering Director/City Engineer. When day work is permitted, work hours shall be from 8:30 am to 3:30 pm, including set up and break down of traffic control. No day work will be permitted during the holiday season,

RESOLUTION NO.

defined as beginning the Saturday before Thanksgiving Day and shall extend through New Year's Day, unless otherwise approved by the Engineering Director/City Engineer. (Land Development)

44. Comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee. (Land Development)

SITE PREPARATION: Prior to any grading or site preparation activities, the applicant shall complete the following to the satisfaction of the applicable Department.

45. The Project site shall be secured in a manner approved by the Fire and Building Code Officials. Approved site security measures may include fencing, controlled access points, and signage as required by project conditions and the California Fire Code, Section 3303. Fire fighter access shall be provided via a Knox Company rapid entry product suitable for the premises type, to be installed at all approved access gates or entry points. The type and placement of the Knox product shall be reviewed and approved by the Santee Fire Department prior to commencement of construction activities.
 - a. Security measures must remain in place for the duration of construction and be maintained in accordance with California Fire Code Section 3303.
 - b. No removal or modification of security measures, including access devices, shall occur without written approval from the Fire and Building Code Officials. (Fire)
46. Prior to delivery of combustible materials to the Project site, fire apparatus access roads shall be installed to provide access to within 150 feet of any area where combustible materials will be placed. These access roads shall be constructed with an approved all-weather driving surface, capable of supporting the imposed load of fire apparatus weighing at least 78,000 pounds. The first layer of asphalt is permitted for the access roads. All underground utilities, including fire mains, fire hydrants, and fire service underground devices, shall be fully installed and operational prior to the delivery of any combustible materials on site.
 - a. Temporary fire apparatus access roads, during construction, may have a minimum unobstructed width of 20 feet wide and vertical clearance of 13 feet, 6 inches in height.
 - b. The access roads must be designed and maintained to support the imposed loads of fire apparatus with all-weather driving capability, consistent with CFC and local amendments.
 - c. Verification of the access road construction and load-bearing capacity may be required through a report by a registered civil or geotechnical engineer, as applicable.
 - d. No delivery of combustible materials shall occur until the fire apparatus access roads and underground fire protection utilities have been approved by the Santee Fire Department. (Fire)

RESOLUTION NO.

GRADING & CONSTRUCTION: During any grading, site preparation or construction activities, the applicant shall complete the following conditions to the satisfaction of the applicable Department:

47. If human remains are encountered, all work shall halt in the vicinity (within 100 feet) of the discovery and the San Diego County Coroner will be contacted in accordance with Public Resources Code (PRC) Section 5097.98 and Health and Safety Code Section 7050.5. The applicant and the City will also be notified. If the County Coroner determines that the remains are Native American, the NAHC will be notified in accordance with Health and Safety Code Section 7050.5, subdivision (c), and PRC Section 5097.98 (as amended by Assembly Bill 2641). The NAHC will designate a Most Likely Descendant (MLD) for the remains per PRC Section 5097.98. The MLD shall complete the inspection of the site within 48 hours of being granted access and shall provide recommendations for the treatment of the remains. Until the landowner has conferred with the MLD, the applicant will ensure that the immediate vicinity where the discovery occurred is not disturbed by further activity, is adequately protected according to generally accepted cultural or archaeological standards or practices. (Planning)
48. Construction equipment with a manufacturer's noise rating of 85 dBALMAX or greater, may only operate at a specific location for 10 consecutive workdays. If work involving such equipment involves more than 10 consecutive workdays, a notice must be provided to all property owners and residents within 300 feet of the site no later than 10 days before the start of construction. A sign legible at a distance of 50 ft shall also be posted at the construction site. All notices and the signs must be approved by the City and shall indicate the dates and durations of construction activities, as well as provide a telephone number for the noise disturbance coordinator. (Planning)

OCCUPANCY: Prior to any occupancy, final grading release, or use of the premises in reliance of this permit the applicant shall complete the following to the satisfaction of the applicable Department.

49. A solar system with a generating capacity of at least 1.5 watts of energy per square foot of building area must be installed prior to occupancy. (Building)
50. The project shall utilize high-efficiency equipment and fixtures consistent with the current California Green Building Standards Code and Title 24 of the California Code of Regulations. (Planning)
51. The applicant shall install a permanently anchored bicycle rack at an accessible location near the main entrance to the building, as shown on the building permit plans. (Planning)
52. In conformance with San Diego Air Pollution Control District's (SDAPCD) Rule 67.0.1, Architectural Coatings, the project shall use low volatile organic compound (VOC) paints. (Planning)
53. A bond, equal to the cost of full landscape installation, shall be required and shall not be released for a minimum of one year until said landscaping is demonstrated to be fully viable. (Planning)

RESOLUTION NO.

54. Building address numbers shall be installed and displayed in block-style lettering with minimum heights as follows: 4 inches for single-family dwellings, 6 inches for commercial businesses, and 12 inches for multi-family or industrial developments.
 - a. Numbers shall be black in color, or another color approved by the Santee Fire Department, providing clear contrast against the background surface for maximum visibility.
 - b. Address numbers shall be permanently affixed to the building or structure in a location clearly visible from the adjacent fire apparatus access road or street.
 - c. The size, style, color, and location of address numbers shall be reviewed and approved by the Santee Fire Department prior to final inspection.
 - d. Address numbers shall be posted while the project is under construction at the project entrance. (Fire)

55. Prior to final approval of any building, the fire lane(s) providing access to that structure shall be fully installed, marked, and maintained in accordance with the California Fire Code and City of Santee Fire Code Amendments.
 - a. Fire lane width shall be measured from curb to curb or from parking space striping to striping and shall extend vertically from grade to the highest point of any adjacent structures or obstacles.
 - b. No building elements, balconies, roof drains, projections, or any other objects shall encroach into the required fire lane clearance.
 - c. Fire lanes shall be clearly identified by painting curbs red with white stenciled lettering stating "NO PARKING – FIRE LANE" where appropriate. Alternatively, approved signs bearing the same message shall be installed at the edge of curbs.
 - d. Signs shall be installed at intervals not to exceed 20 feet (or as otherwise approved by the fire code official) and at all entrances to the Project area.
 - e. Exact placement of fire lane markings and signage shall be reviewed and approved by the Santee Fire Department prior to installation.
 - f. Parking spaces shall not encroach upon or obstruct fire apparatus access roads, drivable fire lanes, or required turning radii for emergency vehicles.
 - g. Private fire lanes shall be maintained in legible condition throughout the life of the facility by the property owner or homeowners association. (Fire)

56. A deferred submittal is required for all automatic fire extinguishing systems. The complete fire sprinkler system design, including plans, specifications, hydraulic calculations, and manufacturer information, shall be submitted to the Santee Fire Department for review and approval prior to installation.
 - a. The deferred submittal must comply with all applicable provisions of the 2025 California Fire Code, NFPA 13, 13R, or 13D, as applicable, and City of Santee Fire Code Amendments.

RESOLUTION NO.

- b. The submittal package shall clearly identify the scope of work, system components, installation details, and coordination with other building and fire protection systems.
 - c. No installation of any fire sprinkler system components shall proceed until the deferred submittal has been reviewed and approved by the Santee Fire Department.
 - d. Any modifications to the approved fire sprinkler design during construction must be resubmitted for review and approval.
 - e. Final acceptance and system testing shall be required prior to issuance of a final occupancy permit. (Fire)
57. Knox Company fire department connection (FDC) plugs shall be installed on all required fire department connections for automatic fire sprinkler systems. (Fire)
58. A deferred submittal is required for all automatic fire alarm systems and dedicated functional fire alarm systems. The complete fire alarm system design, including plans, specifications, and manufacturer information, shall be submitted to the Santee Fire Department for review and approval prior to installation.
- a. The deferred submittal must comply with all applicable provisions of the 2025 California Fire Code, the National Fire Alarm and Signaling Code (NFPA 72), and City of Santee Fire Code Amendments.
 - b. The deferred submittal package shall clearly identify the scope of work, system components, device types and locations, and coordination with other building systems.
 - c. No installation of any fire alarm system components shall proceed until the deferred submittal has been reviewed and approved by the Santee Fire Department.
 - d. Any changes to the approved fire alarm design during construction must be resubmitted for review and approval.
 - e. Final acceptance and system testing shall be required prior to issuance of a final occupancy permit. (Fire)
59. Fire department connections (FDC) for all fire protection systems shall be located within 50 feet of a fire hydrant and in no case shall be more than 100 feet from a fire hydrant.
- a. The exact location of the FDCs relative to nearby fire hydrants shall be reviewed and approved by the Santee Fire Department prior to installation.
 - b. Distance measurements shall be taken by the most direct accessible pedestrian or fire apparatus route, ensuring rapid fire department connection during emergency operations.
60. Knox boxes/vaults shall be installed in accordance with Santee Fire Department Standards. (Fire)

RESOLUTION NO.

61. Applicant shall place all new utilities required to serve the project underground. No overhead facilities or extension of overhead facilities is permitted. (Land Development)
In addition, the applicant shall underground any existing overhead facilities on-site and underground any overhead facilities adjacent to the project to the satisfaction of the Director of Engineering/City Engineer. (Land Development)
62. Applicant shall dedicate right-of-way along Mission Gorge Road adjacent to the site such that the ultimate right-of-way width to centerline is 63 feet. Additional right-of-way may be required as necessary to provide adequate transition to match existing improvements. (Land Development)
63. Applicant shall dedicate to the City of Santee a 10-foot-wide pedestrian and public access easement adjacent to Mission Gorge Road. (Land Development)
64. Plant all new trees in and within 10 feet of the public right-of-way with root control barriers. (Land Development)
65. Construct all improvements within the public right-of-way and improvements as shown on the approved precise grading plans. Improvements shall be completed to the satisfaction of the Engineering Director/City Engineer. (Land Development)

POST-OCCUPANCY: After certificate of occupancy, final grading release, or use of the premises in reliance of this permit, the applicant shall complete the following to the satisfaction of the applicable Department.

66. All groundcover installed pursuant to an approved landscape plan shall provide one-hundred percent coverage within nine months of planting or additional landscaping, to be approved by the City, shall be required in order to meet this standard. (Planning)

ONGOING: The following conditions shall apply during the term of this permit.

67. The site shall remain in substantial conformance with the approved plans and shall be maintained including: (Planning)
 - a. Maintaining all approved parking and driveway areas;
 - b. Continual maintenance of all landscape areas on-site. All landscaped areas shall be kept free from weeds and debris and maintained in a healthy, growing condition, and shall receive regular pruning, fertilizing, mowing and trimming. Any damaged, dead, diseased or decaying plant material shall be replaced within thirty days from the date of damage;
 - c. Maintaining all approved lighting, walls, fencing, mechanical screening and signage.
68. Failure to conform to the approved plot plans is an unlawful use of land and will result in enforcement action pursuant to SMC Chapter 1.10. The Code Compliance Division is responsible for the enforcement of this permit. (Planning)
69. Any approval such as an approved site plan, grading plan, landscape plan, or development review plan, shall run with the land/applicant/owner/operator and

RESOLUTION NO.

shall continue to be valid upon a change of ownership of the site or structure to which it applies. (Planning)

SECTION 4: The applicant shall defend, indemnify, and hold harmless the City of Santee and its officers, employees, and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack or set aside, void, or annul the approval of the City of Santee concerning CUP-2025-0004, or any action relating to or arising out of its approval.

SECTION 5: The terms and conditions of CUP-2025-0004 shall be binding upon the permittee and all persons, firms, and corporations having an interest in the property subject to CUP-2025-0004 and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

SECTION 6: The approval of CUP-2025-0004 expires on April 8, 2029, at 5:00 p.m. except where substantial use has commenced prior to its expiration. If use of the development has not commenced within the three-year period, said expiration date may be extended pursuant to a request for time extension approved by the Planning & Building Director/City Planner (SMC Section 13.04.090). The request must be received 60 days prior to the original expiration date.

SECTION 7: Pursuant to Government Code Section 66020, the 90-day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exactions imposed pursuant to this approval, shall begin on April 8, 2026.

SECTION 8: The City of Santee hereby notifies the applicant that State Law (SB1535) authorizes the County Clerk to collect a documentary handling fee for the processing of CEQA documents. In order to comply with State Law, the applicant should remit to the City of Santee Planning & Building Department, within two (2) working days of the date of this approval a certified check payable to the "San Diego Recorder/County Clerk" in the amount of \$ 50.00. The City of Santee shall file the Notice of Exemption with the San Diego County Clerk upon receipt of the certified check. Failure to remit the required fee in full within the time specified above will result in a delay of the start of the thirty-five (35) day statute of limitations on court challenges to the approval under CEQA.

SECTION 9: SMC Chapter 1.08 provides for the issuance of Administrative citations for Municipal Code violations. Should non-compliance with said terms and conditions of this Conditional Use Permit or any violation of the Municipal Code that includes the City's Storm Water Ordinance, the City has the right to issue administrative citations containing an assessment of civil fines for each violation and collect administrative fines for violations.

SECTION 10: The documents and materials that constitute the record of proceedings on which these findings have been based are located with the City Clerk at the City of Santee City Clerk's office at 10601 Magnolia Avenue, Building #3, Santee, CA 92071.

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 8th day of April 2026, by the following roll call vote to wit:

RESOLUTION NO.

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK

MEETING DATE

April 8, 2026

ITEM TITLE PUBLIC HEARING TO ADOPT THE RESOLUTION APPROVING THE PROGRAM YEAR 2026 ANNUAL ACTION PLAN AND AUTHORIZING THE CITY MANAGER TO SUBMIT THE GRANT APPLICATION FOR COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) FUNDS TO THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD) AND FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

DIRECTOR/DEPARTMENT

Sandi Sawa, AICP, Planning and Building 

SUMMARY

The U.S. Department of Housing and Urban Development (HUD) requires entitlement cities and jurisdictions that receive Community Development Block Grant (CDBG) and HOME Investment Partnerships (HOME) funds to prepare a five-year Consolidated Plan (Con Plan) addressing housing, community development, homeless, and economic development needs. To maintain eligibility for these funds, the City must also adopt an Annual Action Plan (AAP) each year that implements the goals and objectives of the Con Plan and identifies the resources to meet those needs.

At the February 11th and February 25th public hearings, the City Council received a staff report and public testimony from applicants for the Program Year (PY) 2026 (July 1, 2026 – June 30, 2027) CDBG Program. At the second hearing, the City Council approved the PY 2026 funding allocations and authorized staff to prepare a draft AAP for a 30-day public comment period. The comment period and public hearings are conducted in accordance with the City’s five-year Con Plan and Citizen Participation Plan.

The City’s PY 2026 CDBG allocation has not yet been announced. However, HUD’s application timeline requires the City to identify and prioritize CDBG-funded activities prior to the May 15th application deadline. For planning purposes, the City estimates its PY 2026 CDBG funding allocation to be \$349,400, which is the average of the prior three years’ allocations and represents a 6.91 percent decrease from the PY 2025 allocation.

The third public hearing scheduled on April 8th, 2026, will provide the public an opportunity to comment on the draft AAP. Notice of the hearing and the 30-day public comment period was published in the East County Californian on March 6th, 2026. The draft AAP has been made available for public review on the City’s website and at City Hall since March 6th, 2026.

Public comments will be accepted through April 8th, 2026, at the close of the 30-day comment period and during the third public hearing. At the hearing, a summary of all public comments received will be presented to the City Council and members of the public. Public comment will also be summarized and incorporated into the final AAP following the conclusion of the public hearing.

ENVIRONMENTAL REVIEW

This item is exempt from environmental review under the California Environmental Quality Act ("CEQA") by CEQA Guidelines section 15061(b)(3).

FINANCIAL STATEMENT *AS*

For planning purposes, it is assumed that the City's PY 2026 CDBG allocation will be \$349,400.

CITY ATTORNEY REVIEW

N/A

Completed

RECOMMENDATION *WK*

1. Conduct and close the public hearing; and
2. Adopt the attached Resolution approving the Program Year 2026 Annual Action Plan and authorize the City Manager to submit the grant application to HUD.

ATTACHMENTS

1. Resolution
2. Draft PY 2026 Annual Action Plan

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA
APPROVING THE PROGRAM YEAR 2026 ANNUAL ACTION PLAN AND AUTHORIZING
THE CITY MANAGER TO SUBMIT THE GRANT APPLICATION FOR COMMUNITY
DEVELOPMENT BLOCK GRANT (CDBG) FUNDS TO THE U.S. DEPARTMENT OF
HOUSING AND URBAN DEVELOPMENT (HUD)**

WHEREAS, A five-year Consolidated Plan and Annual Action Plan are required by the U.S. Department of Housing and Urban Development (HUD) in order for the City to qualify for federal funding under the Community Development Block Grant (CDBG) and Home Investment Partnership (HOME) programs;

WHEREAS, on April 23, 2025, the City Council adopted the 2025-2029 Consolidated Plan outlining the City's housing, homeless, community and economic development needs;

WHEREAS, the City is also required to prepare and adopt an Annual Action Plan each program year to implement the goals and objectives of the five-year Consolidated Plan and to identify the funding resources available to achieve those goals;

WHEREAS, for Program Year 2026, the City anticipates receiving approximately \$349,400 in CDBG funds and conducted two public hearings to evaluate community needs and program performance prior to determining funding allocations;

WHEREAS, following the February 25th public hearing, the City Council authorized staff to prepare and publish the draft Annual Action Plan for a 30-day public comment period;

WHEREAS, the City will accept public comments and incorporate any necessary revisions following the 30-day public comment period and the third public hearing on April 8; and

WHEREAS, all public comments received during the comment period will be summarized in the Annual Action Plan and presented to the City Council at the April 8 public hearing.

WHEREAS, the City of Santee has followed the prescribed format prior to submission of the required documents; and

WHEREAS, this action is not a project subject to the California Environmental Quality Act ("CEQA") pursuant to State CEQA Guidelines section 15378 because it involves a fiscal activity of governments that will not result in any potentially significant impact on the environment. Even if this action is considered a project, it is exempt from environmental review under CEQA Guidelines section 15061(b)(3), as there is no potential for the action to cause a significant environmental effect.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Santee, California, does hereby:

1. Adopt the Program Year 2026 Annual Action Plan; and

RESOLUTION NO. _____

2. Authorize the City Manager, upon notification by HUD of the amount of CDBG funding allocated to the City of Santee in Program Year 2026, to proportionately adjust allocations among Public Services, Public Facilities and Administrative activities to accommodate any shortfall or surplus between the estimated Program Year 2026 CDBG allocation of \$349,400 and the actual CDBG grant allocated to the City of Santee for Program Year 2026; and
3. Authorize the City Manager to submit the Grant Application for CDBG Funds to HUD.

ADOPTED by the City Council of the City of Santee, California, at a Regular meeting thereof held this 8th day of April, 2026, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK



Second Program Year Action Plan, City of Santee

This document includes Narrative Responses to specific questions that grantees of the Community Development Block Grant, HOME Investment Partnership, Housing Opportunities for People with AIDS and Emergency Shelter Grants Programs must respond to in order to be compliant with the Consolidated Planning Regulations.

Executive Summary

AP-05 Executive Summary - 91.200(c), 91.220(b)

1. Introduction

The City of Santee's (City) 2025–2029 Consolidated Plan (Con Plan) establishes a comprehensive strategic framework for addressing the City's identified housing and community development needs. The Con Plan was prepared through an inclusive citizen participation process, as outlined in the 2025–2029 Citizen Participation Plan (CPP). The five-year planning document incorporates a detailed needs assessment, market analysis, and the identification of priority needs and long-term implementation strategies to be carried out in each Annual Action Plan (AAP).

The Con Plan focuses on the needs of low- to moderate-income (LMI) communities and defines the specific actions the City will undertake to address those needs. It also serves as the City's guiding document for advancing the U.S. Department of Housing and Urban Development's (HUD) mission to provide decent housing, suitable living environments, and expanded economic opportunities for LMI populations.

This AAP implements the strategies set forth in the Con Plan and provides the framework for allocating funding resources to achieve the Con Plan's goals and objectives. Specifically, this document outlines the goals, objectives, and funding allocations for activities carried out during the second year of the five-year Con Plan period from July 1, 2026 through June 30, 2027.

The City allocates its Community Development Block Grant (CDBG) funds toward public services, public infrastructure improvements, and program administration activities. The City also participates in the Home Investment Partnerships (HOME) Program as a member of a consortium led by the County of San Diego, in partnership with five other local jurisdictions. The County receives HOME funds on behalf of its consortium members and administers a first-time homebuyer loan program that provides down payment assistance to income-eligible households.

2026 Program Year

For Program Year (PY) 2026, the City anticipates receiving \$349,400 in CDBG funds, representing the average of the prior three PY allocations (PY 2023, PY 2024, and PY 2025).

Due to uncertainty of the City's PY 2026 entitlement amount, staff requested authorization from the City Council to proportionately adjust their approved funding allocations upon receipt of the final allocation from HUD. Any adjustments will be applied proportionally across all subrecipients, with the exception of fair housing services, which will remain fixed at \$22,000.

On February 25, 2026, during the second public hearing, the City Council adopted a resolution authorizing staff to proportionately adjust the approved allocations upon notification of HUD's final PY 2026 funding amount.

The approved allocations for the PY 2026 CDBG activities are as follows:

2026 CDBG Activities

Public Services

East County Transitional Living Center	\$ 5,000
Elder Help of San Diego	\$ 5,000
Meals-On-Wheels	\$ 5,000
Santee Food Bank	\$27,410
Santee Santas Foundation	\$ 5,000
Voices for Children	\$ 5,000

Sub-Total: **\$52,410**

Public Infrastructure Improvements

City of Santee: Citywide ADA Pedestrian Ramp Project	\$227,110
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Sub-Total: **\$227,110**

Administration

Program Administration	\$47,880
CSA San Diego (Fair Housing\Tenant Landlord Mediation)	\$22,000

Sub-Total: **\$69,880**

TOTAL 2026-2027 CDBG PROGRAM **\$349,400**

2. Summarize the objectives and outcomes identified in the Plan

The City determined its priorities for the 2025-2029 Con Plan based on community and stakeholder feedback, localized housing and market data, and information from 2-1-1 San Diego, the region's Community Information Exchange (CIE). The goals of the Con Plan are as follows:

- **Goal 1:** Improve community infrastructure to address current deficiencies, ensuring that sidewalks, streets, and parks are accessible, safe, and enjoyable for residents.
- **Goal 2:** Provide public services and activities to address the needs of vulnerable populations, including seniors, residents experiencing food insecurity, individuals with special needs, and those experiencing homelessness.
- **Goal 3:** Support affordable housing opportunities and services for LMI residents.

In PY 2026, the City anticipates achieving the following outcomes in support of these goals:

- Design and construct 30-40 pedestrian ramp projects benefiting between 1,500-3,500¹ persons with developmental and other disabilities (Goal 1);
- Deliver CDBG-funded public services to support up to 17,527 LMI individuals, including seniors, individuals with special needs, and those at risk of homelessness or food insecurity (Goal 2); and
- Assist up to 120 individuals with fair housing concerns through CDBG-funded administrative activities (Goal 3).

3. Evaluation of past performance

As part of the Con Plan process, the City is required to submit a Consolidated Annual Performance and Evaluation Report (CAPER). The CAPER documents how funds were expended, the households and individuals who benefited, and the City's progress toward achieving its annual housing and community development goals. These reports are reviewed by the City Council and made publicly available on the City's website.

During the previous Con Plan cycle, the City successfully implemented a range of housing and community development activities that positively impacted LMI residents. The City anticipates continuing to achieve these outcomes through collaborative efforts with its non-profit service providers, local jurisdictions and

¹ The total number of individuals served will be determined by the census block areas where the pedestrian ramps are installed. The City is currently awaiting the release of updated census block data to inform planning for the next phase of the citywide ADA pedestrian ramp project, which is scheduled to be implemented over the next two PYs.

the City's fair housing provider. Final outcomes for the prior five-year Con Plan cycle was submitted to HUD in the PY 2024–25 CAPER in September 2025.

Key outcomes from the previous Con Plan cycle include:

- **Fair housing services:** Provided to 143 residents through CSA San Diego County.
- **Homeless and at-risk services:** Support and shelter provided to 1,039 residents through Crisis House.
- **Food assistance:** Over 71,000 individuals served by the Santee Food Bank.
- **Senior nutrition:** Meals delivered to 371 senior residents through Meals on Wheels.
- **Senior services:** ElderHelp provided assistance to 386 senior residents.
- **Holiday meal services:** The Santee Santas Foundation delivered meals to 2,794 LMI individuals experiencing food insecurity during the two-week holiday season.
- **ADA accessibility/public infrastructure improvements:** The first phase of the Citywide ADA Pedestrian Ramp project served 3,443 disabled and elderly residents through the installation of 85 new pedestrian ramps.

4. Summary of Citizen Participation Process and consultation process

The City's Citizens Participation Plan (CPP) provides the framework for community engagement, including notification of public meetings and hearings. In accordance with the CPP, the City noticed two public hearings to solicit community input on the allocation of federal block grant funds.

The first hearing, held on February 11, 2026, invited public comment on community needs and priorities. The second hearing, conducted on February 25, 2026, established the allocation of PY 2026 Community Planning and Development (CPD) funding based on the City's estimated CDBG entitlement amount.

A 33-day public review and comment period for the PY 2026 Annual Action Plan (AAP) will be held from March 6 through April 8, 2026, exceeding the 30-day minimum requirement outlined in the CPP. A public hearing on April 8, 2026, will be held before the City Council to provide the public an opportunity to provide input on the draft plan prior to approval and adoption of the PY 2026 AAP.

All public hearing dates and comment periods were published in the *East County Californian* and posted on the City's website to ensure broad community awareness.

5. Summary of public comments

The City held three public hearings and conducted a 33-day public comment period. A summary of responses and feedback is provided below:

Public Hearing 1 – February 11, 2026: Public comments focused on the content of applicants' proposals and responses to questions posed by the City Council. Eight applicants attended the hearing, with seven

providing testimony and addressing the City Council. A citizen also provided public comment emphasizing the importance of shelter and leadership in the community to make necessary change.

Public Hearing 2 – February 25, 2026: Applicant *Recovery and Beyond* presented their proposal and discussed a pilot program aimed at serving individuals at risk of experiencing homelessness.

33-Day Public Comment Period – March 6 to April 8, 2026: Comments received during this period will be reviewed, acknowledged, and summarized in this section prior to the submission of this Annual Action Plan (AAP).

Public Hearing 3 – April 8, 2026: Comments from this hearing will also be reviewed and summarized in this section prior to the submission of the AAP.

6. Summary of comments or views not accepted and the reasons for not accepting them

The City will receive public comments during the public review period beginning March 6, 2026, through April 8, 2026. The City will also hold a third public hearing before the City Council on April 8, 2026. Public comments will be addressed, accepted and summarized in the final AAP prior to submission to HUD.

PR-05 Lead & Responsible Agencies - 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

The following are the agencies/entities responsible for preparing the Con Plan and those responsible for administration of each grant program and funding source.

Table 1 – Responsible Agencies

Agency Role	Name	Department/Agency
CDBG Administrator	City of Santee	Department of Planning & Building

Narrative

The City’s Department of Planning & Building is the lead agency responsible for the preparation and administration of the Con Plan, corresponding AAPs, CAPERs, and the CDBG program. The County of San Diego is the lead agency for HOME Investment Partnership funding, which the City utilizes as a member of the County of San Diego’s HOME Consortium. The implementation of programs funded by CDBG and HOME may be done in conjunction with other City departments such as the Engineering Department.

Consolidated Plan Public Contact Information

Brittany Gohres, Senior Management Analyst
City of Santee Planning & Building Department
bgohres@cityofsanteca.gov

AP-10 Consultation - 91.100, 91.200(b), 91.215(l)

1. Introduction

The City collaborates with governmental agencies and nonprofit organizations to address the needs of the City's LMI population. These efforts include partnering with the County of San Diego as a member of the HOME Consortium and participating in the County's Housing Choice Voucher (Section 8) program. City staff also participates in the Homeless Working Group meetings that are attended by non-profit service providers and other partnering agencies from throughout the region.

Other non-governmental agencies the City works closely with include, but are not limited to: Santee Santas, Meals on Wheels, Santee Food Bank, PATH San Diego, the East County Transitional Living Center, Crisis House, and Voices for Children. The City encourages agencies to work together to leverage resources and prevent duplication of services for the betterment of the people being served.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l)).

The City has taken a proactive approach to advancing homeless outreach initiatives, including the establishment of a Homeless Working Group in fall 2022. This group, comprised of City staff from multiple departments, partnering agencies, and local service providers, meets bimonthly to coordinate resources, data sharing, evaluate strategies, develop public information, and plan future initiatives.

City staff also actively participates in the Regional Task Force on Homelessness (RTFH) and the East County Homeless Task Force (ECHTF), both of which focus on regional collaboration and strategic solutions to address homelessness. The RTFH leads countywide strategic planning and resource coordination, while the ECHTF fosters public, private and non-profit partnerships to address homelessness in East County San Diego.

To enhance coordination among housing, mental health, and supportive service providers, the City leverages both CDBG and Permanent Local Housing Allocation (PLHA) funds. CDBG resources support homelessness prevention, public services and emergency shelter and transitional housing services. In 2025, the City was awarded PLHA funding from the State, which has been committed to targeted homeless outreach in high-risk areas, including the San Diego Riverbed. The East County Transitional Living Center serves as the City's contracted provider, delivering outreach and case management services designed to connect individuals to resources and facilitate placement into transitional or permanent housing.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

The City is dedicated to meeting the physical and mental/behavioral health needs of individuals experiencing homelessness. The City participates in the regional Continuum of Care led by the RTFH.

The RTFH provides strategic leadership on planning and policy matters affecting the homeless population, including updates to the Regional Plan to End Homelessness. In addition, the RTFH prepares and submits a consolidated application to HUD to secure funding in support of programs that serve Santee's homeless and 'at-risk' populations.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

The City of Santee does not receive HUD Emergency Solutions Grant (ESG) resources.

2. Agencies, groups, organizations and others who participated in the process and consultations

Table 2 – Agencies, groups, organizations who participated

1	Agency/Group/Organization	CSA San Diego County
	Agency/Group/Organization Type	Service-Fair Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Homelessness Strategy Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony at the first public hearing on February 11 th . CSA San Diego County is a current City of Santee CDBG subrecipient.
2	Agency/Group/Organization	East County Transitional Living Center (ECTLC)
	Agency/Group/Organization Type	Emergency Shelter/ Temporary Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Homelessness Strategy Homelessness Needs – families Homelessness Needs - veterans Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance at the first public hearing on February 11 th . ECTLC has been a subrecipient of CDBG – Corona Virus funds in prior PYS
3	Agency/Group/Organization	ElderHelp of San Diego
	Agency/Group/Organization Type	Services-Elderly Persons Services-Persons with Disabilities Services-Health

	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony at the first public hearing on February 11 th . ElderHelp of San Diego is a current City of Santee CDBG subrecipient.
4	Agency/Group/Organization	Meals on Wheels of Greater San Diego
	Agency/Group/Organization Type	Services-Elderly Persons Services-Persons with Disabilities Services-Persons with HIV/AIDS Services-Health
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony at the first public hearing on February 11 th . Meals on Wheels of Greater San Diego is a current CDBG Subrecipient.
5	Agency/Group/Organization	Santee Ministerial Council – Santee Food Bank
	Agency/Group/Organization Type	Services-Children Services-Elderly Persons Services-Persons with Disabilities Services-Health Food Bank

	What section of the Plan was addressed by Consultation?	Housing Need Assessment Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony at the first public hearing on February 11 th . The Santee Food Bank is a current CDBG Subrecipient.
6	Agency/Group/Organization	Santee Santas Foundation
	Agency/Group/Organization Type	Services-Children Services-Elderly Persons Services-Persons with Disabilities Services-Health
	What section of the Plan was addressed by Consultation?	Homelessness Strategy Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony at the first public hearing on February 11 th . Santee Santas Foundation is a current City of Santee CDBG subrecipient.
7	Agency/Group/Organization	Voices For Children
	Agency/Group/Organization Type	Services-Children Services-Victims of Domestic Violence Child Welfare Agency
	What section of the Plan was addressed by Consultation?	Homelessness Needs - Unaccompanied youth Non-Homeless Special Needs Anti-poverty Strategy

<p>Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>Attendance and testimony at the first public hearing on February 11th. CSA San Diego County is a current City of Santee CDBG subrecipient.</p>
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Identify any Agency Types not consulted and provide rationale for not consulting

The City regularly reviews its action plans and identifies organizations and other stakeholders that have expressed interest in the City’s CDBG program. Representatives from these entities were invited to participate in multiple stages throughout the development of the Con Plan. All agencies were strongly encouraged to attend public meetings and to complete the stakeholder and community needs surveys to support comprehensive and inclusive planning efforts. Agencies or organizations that were not previously consulted and wish to participate in future planning efforts related to CDBG funding opportunities are encouraged to contact the City to express interest and to request to be included in future communications.

Table 3 - Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Regional Task Force on the Homeless	Seek to further the efforts of the Regional Task force on the Homeless.
City of Santee Housing Element, 2021-2029	City of Santee	The 2025-2029 City of Santee Con Plan conforms with the adopted City of Santee Housing Element, 2021-2029.
City of Santee’s Homeless Working Group	City of Santee	Partners with local organizations and jurisdictions to identify solutions and efforts taken to address homelessness and to connect individuals experiencing homelessness with local resources, temporary housing and case management.

Narrative

Seven of eight PY 2026 CDBG applicants addressed the Mayor, City Council and members of the public during the first City Council Public Hearing on February 11, 2026. PY 2026 applicants presented information regarding the contents or their proposals and proposed programs as well as the needs and demographic characteristics of the populations the applicants intend to serve. One applicant, Recovery & Beyond, participated in the February 11 and February 25 public hearings; however, the City Council did not award funding to this organization.

AP-12 Participation - 91.401, 91.105, 91.200(c)

**1. Summary of citizen participation process/Efforts made to broaden citizen participation
Summarize citizen participation process and how it impacted goal-setting**

Information regarding the CDBG program, resources, and local program contact information were all posted on the City’s website. Public notices were published in a local newspaper (East County Californian) to inform the public of public meetings, public hearings and document public review periods, including the PY 2024 AAP containing the proposed activities for the PY.

Table 4 - Citizen Participation Outreach

	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
1	Newspaper Ad	Non-targeted/broad community	Notice of Funding Availability and accepting of applications for 2026-2027 CDBG funding.	None	Not Applicable	https://eccalifornian.com/

	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
2	Newspaper Ad	Non-targeted/broad community	Notice of two Public Hearings (2/11 and 2/25) in the East County Californian.	None	Not Applicable	https://eccalifornian.com/
3	Public Hearing	Non-targeted/broad community	Public hearing on 2/11/2026 to assess community needs and to review proposals received for the 2026 PY	Seven of the eight applicants addressed the City Council during the public hearing regarding the contents of their proposals. The City also received one public comment from a member of the public.	All comments were received and accepted and summarized in the AAP.	www.cityofsanteeca.gov

	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
4	Public Hearing	Non-targeted/broad community	Public hearing on 2/25/2026 to discuss funding recommendations for activities identified in 2026-2027 AAP	Applicant Recovery & Beyond provided public comment during the hearing to discuss their proposed project.	All comments were received and accepted and summarized in the AAP.	www.cityofsanteca.gov
5	Newspaper Ad	Non-targeted/broad community	Notice for 33-Day Public Comment Period and Public Hearing to review the PY 2026 AAP	None	Not Applicable	https://eccalifornian.com/

	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
6	Public Hearing	Non-targeted/broad community	Public Meetings on 4/26/2024 to solicit public input and City Council to consider and approve 2026-2027 AAP	To be determined	To be determined	www.cityofsanteeca.gov

Expected Resources

AP-15 Expected Resources - 91.420(b), 91.220(c)(1,2)

Introduction

The City is a CDBG Entitlement jurisdiction and will receive an estimated \$349,400 in CDBG funds in PY 2026. The City of Santee is a member of the San Diego County HOME Investment Opportunities (HOME) Consortium. The County of San Diego is recognized by HUD as a Participating Jurisdiction on behalf of the Consortium and includes HOME Program goals, activities and accomplishments in its Con Plan and AAP. The City does not receive Housing Opportunities for Persons with AIDS (HOPWA) or Emergency Solutions Grant (ESG) program funding. Please refer to the County of San Diego (www.sdhcd.com) and City of San Diego (www.sandiego.gov) AAPs for details on the goals and distribution of HOPWA and ESG funds.

The City does not anticipate a regular stream of Program Income over the course of the 2025-2029 Con Plan. Program income received from the repayment of home rehabilitation loans (CDBG) and First Time Homebuyer loans will be applied to approved current-year activities. For PY 2026, the City does not anticipate any program income or interest income to be allocated as funding toward CDBG activities.

Table 5 - Anticipated Resources

Program	Source of Funds	Uses of Funds	Anticipated Amount Available Year 5				Expected Amount Available Remainder of Con Plan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Program Administration, Public Services and Public Infrastructure	\$349,400	\$0	\$0	\$349,400	\$979,870	The City will expend these funds on projects that align directly with the Con Plan goals. CDBG funding will reimburse subrecipients for services that benefit LMI residents. Funds allocated for administration activities will be used to provide fair housing services. The public facilities/infrastructure projects will fund the next phase of the citywide ADA Pedestrian Ramp project.

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

While the CDBG program does not require matching funds, CDBG funds offer excellent opportunities to leverage private, local, state and other federal funds to allow for the provision of public service activities. For example, many State housing programs have scoring criteria that reward applicants who have matching funds.

If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

The City has no city-owned property zoned for housing. Most City-owned properties are remnant parcels associated with improvements to the Prospect Avenue industrial collector.

Discussion

Not applicable.

Annual Goals and Objectives

AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3)&(e)

Table 6 - Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Improve Community Infrastructure and facilities	2025	2029	Public Infrastructure/ Facilities	Various Locations	Improve Infrastructure and Facilities	CDBG: \$227,110	Public Facility or Infrastructure Activities. ADA Pedestrian Ramp Installation Benefit: 1,500-3,500 persons depending on census block locations
2	Provide Public Services	2025	2029	Public Services	Citywide	Public Services for LMI-Resident	CDBG: \$52,410	Public service activities other than Low/Moderate Income Housing Benefit: 17,527 Persons Assisted
3	Support Affordable Housing Opportunities LMI	2025	2029	Affordable Housing	Citywide	Support Affordable Housing for LMI Residents.	CDBG: \$0	Affordable Housing provided by the County of San Diego through HOME Program Goal: 1 Household for first-time home buyer loan (consistent with prior PYs)
4	Fair Housing	2025	2029	Fair Housing	Citywide	Fair Housing	CDBG: \$22,000	Housing counseling, enforcing fair housing laws and promoting fair housing outreach and education Other: 120 Other
5	Program Administration (all goal categories)	2025	2029	All Categories	Citywide	Program Administration	CDBG: \$47,880	Administration of the City's CDBG Programs and subrecipient compliance monitoring

Goal Descriptions

1	Goal Name	Improve Community Infrastructure and Facilities
	Goal Description	Improve community infrastructure to address current deficiencies, ensuring that sidewalks, streets, and parks are safe and enjoyable for residents.
2	Goal Name	Provide Public Services
	Goal Description	Provide public services and activities to address the needs of vulnerable populations, including seniors, residents experiencing food insecurity, individuals with special needs, and those experiencing homelessness.
3	Goal Name	Support Affordable Housing Opportunities LMI
	Goal Description	Support affordable housing opportunities and services for LMI residents.
4	Goal Name	Fair Housing
	Goal Description	Provide services related to the eradication of housing discrimination, housing counseling, fair housing testing, and enforcing fair housing laws.

AP-35 Projects - 91.420, 91.220(d)

Introduction

The following projects are based on the City's identified priority needs and activities. Projects/programs that are operated citywide are noted. The majority of the projects are targeted LMI persons, or neighborhoods in census tracts with 51% or more who are LMI. All proposed activities are eligible and meet program service targets.

Table 3 – Project Information

#	Project Name
1	Program Administration
2	Program Administration - Fair Housing (CSA San Diego)
3	Public Services – East County Transitional Living Center
4	Public Services – ElderHelp of San Diego
5	Public Services – Meals on Wheels of Greater San Diego
6	Public Services – Santee Food Bank
7	Public Services - Santee Santas Foundation
8	Public Services – Voices for Children
9	Public Facilities - Citywide ADA Pedestrian Ramp Project
10	Public Facilities - Affordable Housing

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

Allocation priorities were established by the City Council based on their collective knowledge of the community's needs and by assessing proposals to determine which programs and activities are best suited to address those needs. The most significant barrier to meeting underserved needs is the lack of sufficient resources to do so.

AP-38 Project Summary

1	Project Name	Program Administration
	Target Area	Citywide
	Goals Supported	Improve community infrastructure and facilities Provide Public Services Fair Housing
	Needs Addressed	Improve Infrastructure and Facilities Public Services for LMI-Resident Fair Housing
	Funding	CDBG: \$47,880
	Description	Provide for the timely and compliant administration of the CDBG programs in accordance with HUD policy and federal regulations.
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	Not applicable.
	Location Description	Citywide
	Planned Activities	Administration of the City's CDBG program and activities and subrecipient compliance monitoring
2	Project Name	Program Administration - Fair Housing (CSA San Diego)
	Target Area	Citywide
	Goals Supported	Fair Housing
	Needs Addressed	Fair Housing
	Funding	CDBG: \$22,000
	Description	Provide services related to the eradication of housing discrimination, housing counseling, fair housing testing, and enforcing fair housing laws.
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	Up to 120 residents will receive assistance with fair housing issues and landlord/tenant disputes.
	Location Description	Citywide

	Planned Activities	Provide counseling and referral services to persons alleging violations of Fair Housing laws and persons seeking information and/or resolution regarding conflicts between tenants and landlords.
3	Project Name	Public Services – East County Transitional Living Center (ECTLC)
	Target Area	Citywide
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$5,000
	Description	Emergency Shelter and Transitional Housing
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	ECTLC anticipates serving approximately 20 individuals by providing emergency shelter or housing
	Location Description	Citywide
	Planned Activities	Provide temporary housing and emergency shelter services to individuals and families experiencing homelessness in Santee
4	Project Name	Public Services - ElderHelp of San Diego
	Target Area	Citywide
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$5,000
	Description	Independent living support for Santee seniors through case management, transportation, minor home repairs, and referrals.
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	ElderHelp of San Diego anticipates serving 65 persons in Santee.
	Location Description	Not applicable. Citywide.

	Planned Activities	Provide case management and services through a trained social worker to help seniors remain in their homes by providing referrals and information.
5	Project Name	Public Services - Meals on Wheels Greater San Diego
	Target Area	Citywide
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$5,000
	Description	Administer home delivered meals to elder adults, most of whom are low to extremely low income.
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	Meals on Wheels anticipates serving 50 unduplicated homebound low income seniors in Santee
	Location Description	Citywide
Planned Activities	Deliver daily meals to homebound Santee residents, including seniors and persons with special needs.	
6	Project Name	Public Services - Santee Food Bank
	Target Area	Citywide
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$27,410
	Description	Provide emergency food assistance to community residents with food insecurity.
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	The Santee Food Bank anticipates serving 16,670 LMI Santee residents in PY 2026.

	Location Description	Program serves residents citywide. Santee Food Bank is located at 9715 Halberns Blvd, Santee, CA 92071.
	Planned Activities	Provide emergency food assistance.
7	Project Name	Public Services - Voices for Children
	Target Area	Citywide
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$5,000
	Description	Improve quality of lives for abused, abandoned, or neglected foster children by providing them with trained, volunteer Court Appointed Special Advocates (CASAs).
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	The Voices for Children anticipates serving two foster children with two Court Appointed Special Advocates (CASAs). CASAs are volunteers who provide a single child or sibling group with comprehensive advocacy in court and the community.
	Location Description	Citywide.
	Planned Activities	Improve quality of lives for abused, abandoned, or neglected foster children by providing them with trained, volunteer Court Appointed Special Advocates (CASAs).
8	Project Name	Public Services - Santee Santas Foundation
	Target Area	Citywide
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$5,000
	Description	Provide meals, non-perishable food and schools to LMI families and seniors during the winter holidays.
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	The Santee Santas anticipates serving up to 630 individuals with the city of Santee with food assistance through its December Holiday Program.
	Location Description	Citywide

	Planned Activities	Assist families and individuals with nutritional assistance
9	Project Name	Public Facilities - Citywide ADA Pedestrian Ramp Project
	Target Area	CDBG Target Census Tract Block Groups – Various Locations
	Goals Supported	Improve community infrastructure and facilities
	Needs Addressed	Improve Infrastructure and Facilities
	Funding	CDBG: \$227,110
	Description	Citywide installation of ADA compliant pedestrian ramps at locations where no ramp exists. PY 2024 funding to be used for the next phase of the Citywide ADA Pedestrian Ramp Project.
	Target Date	6/30/2027
	Estimate the number and type of families that will benefit from the proposed activities	1,500-3,500 persons assisted by these public facilities improvements in Program Year 2026.
	Location Description	The locations of the ADA Pedestrian Ramp installation for the next phase of installations has not yet been determined.
	Planned Activities	Install pedestrian ramps citywide and in low-to-moderate income areas within the city

AP-50 Geographic Distribution - 91.420, 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The geographic priority area for available CDBG resources is the City in its entirety. Public improvements which may occur with PY 2026 funding will most likely be for future phases of the City ADA Pedestrian Ramp (installation) project at locations yet to be finalized.

Table 8 - Geographic Distribution

Target Area	Percentage of Funds
Citywide	100%

Rationale for the priorities for allocating investments geographically

The geographic priority area for available CDBG Public Services resources is the City in its entirety. CDBG resources were allocated based on the quality and quantity of applications submitted.

The allocation of CDBG PY 2026 funding towards public facilities will occur at locations to be determined with an emphasis on installing ADA compliant pedestrian ramps at locations where no ramp exists citywide.

Discussion

Future public improvements under the 2025-29 Consolidated Plan will occur citywide to serve the disabled and elderly persons in the census block group where the new pedestrian ramp installations occur.

AP-85 Other Actions - 91.420, 91.220(k)

Introduction

This section of the Program Year 2026 City's AAP includes the actions planned to address the obstacles in meeting needs, to foster and maintain affordable housing, reduce lead-based paint hazards, reduce the number of families in poverty, develop the institutional structure and enhance coordination between public and private housing and social services agencies.

Actions planned to address obstacles to meeting underserved needs

The primary obstacle to meeting all of the identified needs, including those identified as priorities, is the general deficiency of funding resources available to the public and private agencies that serve the needs of LMI residents. The elimination of redevelopment agencies significantly impacted the City's efforts to maintain infrastructure, expand housing and promote economic development. Furthermore, entitlement grants have leveled off over recent years, further decreasing funds available to provide services and meet the City's needs. Santee will seek to remedy obstacles by exploring alternative funding vehicles, leveraging resource investments to the maximum feasible degree and exploring new sources of municipal revenue generation.

Actions planned to foster and maintain affordable housing

Santee will continue efforts to maintain and improve the infrastructure of the City's LMI neighborhoods as well as assist residents by helping them acquire and/or maintain affordable housing in the community. The City plans on funding specific activities that will improve the quality of life for seniors and persons with special needs as well as strengthen the local provision of homeless services and homeless prevention services.

Additionally, the City has recently completed the process of updating its Housing Element. The Housing Element is the City's main housing policy and planning document that identifies housing needs and constraints, sets forth goals and policies that address these needs and constraints, and plans for projected housing needs for all income levels over an eight-year planning period that coincides with a Regional Housing Needs Allocation (RHNA).

Actions planned to reduce lead-based paint hazards

The City of Santee requires that all federally-funded projects be tested for lead-based paint and abate hazards as needed. Lead-based paint warnings are distributed with applications for property related assistance. All applicants are required to sign and return the lead-based paint warning to verify that they have read its contents and are aware of the dangers lead-based paint presents. Factors such as housing conditions and age of household are taken into consideration when determining lead-based

Paint risk and the need for remediation.

Actions planned to reduce the number of poverty-level families

The City of Santee seeks to reduce the number of people living in poverty by continuing to implement its anti-poverty strategy incorporating housing assistance and supportive services. A major partner in reducing poverty in Santee is the County, which administers the CalWORKs Program. CalWORKs provides cash aid to needy families to cover the cost of essentials like housing, healthcare, and clothing. It also supports job training throughout the County and the Community College Districts. The County also administers CalFresh, the federally funded food assistance program that is widely regarded as one of the most impactful anti-poverty programs in the country.

As a means of reducing the number of persons with incomes below the poverty line, the City will coordinate its efforts with those of other public and private organizations serving lower income residents.

Actions planned to develop institutional structure

As the administrator of block grant programs, Department of Planning and Building staff collaborates with City departments and outside agencies to implement the objectives established in the Consolidated Plan. The City conducts annual monitoring visits with grant subrecipients to review administrative practices and activity effectiveness.

Actions planned to enhance coordination between public and private housing and social service agencies

Santee is committed to fostering coordination between public and private housing and social service agencies. The City regularly deals with residential development entities that are both profit and non-profits. The City will continue to work with such organizations to foster the provision of affordable housing in the region and connect such housing organizations with social service providers operating and serving the City.

Discussion

While monitoring CDBG-financed public services/resources to local services agencies, the City will endeavor to strengthen coordination with public and private affordable housing organizations and the San Diego County Housing Authority. Santee will continue to address the needs of persons experiencing Homelessness in relation to both physical and mental/behavioral health needs.

Program Specific Requirements

AP-90 Program Specific Requirements - 91.420, 91.220(I)(1,2,4)

Introduction

The following identifies additional resources available for allocation to PY 2024 activities. Also identified are the amount of urgent need and percentage expended on activities that benefit persons of low- and moderate- income are provided

Community Development Block Grant Program (CDBG)

Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next PY and that has not yet been reprogrammed	0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	\$0.00

Other CDBG Requirements

1. The amount of urgent need activities	0
---	---

Discussion

The City plans to expend all of its CDBG resources for the benefit of LMI persons.

Consolidated Plan and Action Plan Appendices

Citizen Participation and ConsultationAppendix A

Citizen Participation and Consultation

Appendix A

AFFP
158235 NOFA PY 2026 - Bryan

Affidavit of Publication

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } SS

I am a citizen of the United States; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principal clerk of the printer of East County Californian, Decree #51488, a newspaper of general circulation, published ONCE WEEKLY in the city of El Cajon, County of San Diego, which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of San Diego, State of California under the date of April 22, 1927, Case Number 447290; that said newspaper, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and in any supplement thereof on the following dates, to-wit:

December 15, 2025

That said newspaper was regularly issued and circulated on those dates.

SIGNED:


East County Californian

Subscribed and sworn by me this 15th day of December 2025.

City of Santee
PUBLIC NOTICE
Notice of Funding Availability
Community Development Block Grant
Program Year 2026

The City of Santee is requesting proposals for the use of Community Development Block Grant (CDBG) funding during Program Year (PY) 2026 (July 1, 2026 – June 30, 2027). CDBG is a federally funded program administered by the United States Department of Housing and Urban Development (HUD). Monies provided through the CDBG program can be used to fund a variety of public improvements and services that benefit low- and moderate-income persons. During Program Year 2026 the City allocated \$56,500 in CDBG funding to providers of public services. Recognizing that HUD has not yet announced PY 2026 allocation amounts, it is estimated that the City will receive between \$340,000 and \$380,000 in PY 2026 funding of which fifteen percent would be available for Public Services.

Applications for Program Year 2026 CDBG funds will be available December 5, 2025, on the City's webpage at www.cityofsanteeca.gov. If you have questions about the CDBG program and/or activity eligibility, or want an application packet, please call (619) 258-4100, extension 221 or email bgohres@cityofsanteeca.gov by Friday, December 19, 2025.

Please note that Santee City Hall will be closed from December 24, 2025, to January 2, 2026.

Proposals will be accepted until Monday, January 12, 2026 at 5:00 p.m. Please submit proposal/application by email to bgohres@cityofsanteeca.gov or by mail to:

City of Santee
ATTN: Brittany Gohres, CDBG Administrator
Department of Planning and Building
10601 Magnolia Avenue
Santee, CA 92071
East County Californian 12/05/2025-158235

**Citizen Participation and Consultation
Appendix A (Continued)**

AFFP
CDBG 2026 -Parravano

Affidavit of Publication

STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO) SS

I am a citizen of the United States; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principle clerk of the printer of East County Californian, Decree #51488, a newspaper of general circulation, published ONCE WEEKLY in the city of El Cajon , County of San Diego, which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of San Diego, State of California under the date of April 22, 1927, Case Number 447290; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

January 30, 2026

That said newspaper was regularly issued and circulated on those dates.

SIGNED:

East County Californian

Subscribed to and sworn by me this 30th day of January 2026.

CITY OF SANTEE
NOTICE OF PUBLIC HEARINGS
COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM
ALLOCATIONS FOR PROGRAM YEAR 2026

The Santee City Council will conduct two public hearings to assess and prioritize community development and affordable housing needs for new or continuing activities to be funded under its Community Development Block Grant (CDBG) Program. The primary objective of the CDBG program is the development of viable urban communities by providing decent housing, a suitable living environment and expanded economic opportunities, principally for persons of low- and moderate-income. The United States Department of Housing and Urban Development (HUD) has not yet announced Program Year (PY) 2026 allocation amounts. However, the City estimates that it should receive approximately \$349,400 in PY 2026 CDBG funding.

NOTICE IS HEREBY GIVEN: Public hearings will be held at 6:30 P.M., Wednesday, February 11, 2026, and Wednesday, February 25, 2026. The City will hold these public hearings to receive comments from the public concerning housing and community development needs, development of proposed activities, proposed strategies and actions for affirmatively furthering fair housing, and a review of past program performance in preparation for the upcoming annual allocation process for the next CDBG cycle from July 2025 to June 2026.

Public input is welcome and encouraged on the proposed use of these funds. Citizens may participate in written form prior to the public hearings or in-person at the Public Hearing. Please forward all comments or inquires to Brittany Gohres, Department of Planning & Building City of Santee, 10601 Magnolia Ave, Santee, CA 92071, call (619) 258-4100 ext. 221 or email at bgohres@cityofsanteeca.gov

ADDITIONAL INFORMATION: The City of Santee complies with the Americans with Disabilities Act. Upon request, this notice will be made available in appropriate alternative formats to persons with disabilities, as required by Section 202 of the American with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation to participate in a meeting should direct such request to the City Clerk's office at (619) 258-4100, ext. 114 at least 48 hours before the meeting, if possible.

East County Californian 1/30/2026-159923

**Citizen Participation and Consultation
Appendix A (Continued)**


Affidavit of Publication

STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO) SS

I am a citizen of the United States; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principle clerk of the printer of East County Californian, Decree #51488, a newspaper of general circulation, published ONCE WEEKLY in the city of Escondido, County of San Diego, which newspaper also serves as a newspaper of general circulation by the Superior Court of the County of San Diego, State of California under the date of April 22, 1927, Case Number 147240, and the notice of which the annexed is a printed copy and in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates: (mWC)

March 18, 2026

The said newspaper was regularly issued and circulated on the above dates.


Cheryl Callaghan

Subscribed and sworn by me this 6th day of March, 2026.

CITY OF SANTEE- DEV. SERV.
10601 MAGNOLIA AVE
SANTEE, CA 92071

CITY OF SANTEE
NOTICE OF PUBLICATION FOR PUBLIC
COMMENT PERIOD AND PUBLIC HEARING FOR THE DRAFT PROGRAM YEAR 2026
ANNUAL ACTION PLAN

The City of Santee announces that the Draft Program Year 2026 Annual Action Plan is available for review by citizens, public agencies and other interested parties.

The Program Year 2026 Annual Action Plan is a one-year plan that provides for the allocation of federal funding from the Community Development Block Grant (CDBG) program in the total projected amount of \$348,400. The Annual Action Plan provides these funds to be expended on public infrastructure improvements, public services and program administration activities. The one-year Annual Action Plan period is from July 1, 2026 to June 30, 2027.

The Program Year 2026 Draft Annual Action Plan is available for public review on the City of Santee's website at <https://www.cityofsantee.ca.gov/departments/planning-building/cdbg> or in-person at City Hall - Building 4 located at 10601 Magnolia Ave, Santee, CA 92071. Public Comments will be accepted for a period of 33 days from Friday, March 6, 2026 through April 8, 2026.

Persons wishing to submit written comments during the public review and comment period may email them directly to bgoines@cityofsantee.ca.gov or by mail them, postmarked no later than April 8, 2026, to the following address:

City of Santee - Planning & Building Department
Attn: Brittany Goines
10601 Magnolia Ave
Santee, CA 92071

A public hearing will be conducted by the Santee City Council on April 8, 2026 at 5:30 p.m., to receive and consider comments on the Draft Program Year 2026 Annual Action Plan.

ADDITIONAL INFORMATION: The City of Santee complies with the Americans with Disabilities Act. Upon request, this agenda will be made available in appropriate alternate formats to persons with disabilities, as required by Section 202 of the American with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's Office at (619) 258-4100 at least 48 hours before the meeting, if possible.
East County Californian 3/6/2026-161065

**RECEIVED
CITY OF SANTEE
MAR 10 2026
ENGINEERING
PLANNING & BUILDING**

**Summary of Public Comments at
Public Hearings
(Appendix A Continued)**

**Public Hearing to receive public input on CDBG Funding
February 11, 2026**

Seven of the eight applicants addressed Council regarding the contents of their proposals and their proposed programs. Applicants also responded to questions proposed by councilmembers. A citizen also provided public comment emphasizing the importance of shelter and leadership in the community to make necessary change.

**Public Hearing to discuss funding recommendations for activities identified in 2026-2027
Action Plan
February 25, 2026**

One applicant, Recovery & Beyond, addressed Council during the public hearing to discuss their proposed pilot program and the benefits of the program.

**Public Hearing to adopt the PY 2026 AAP
April 8, 2026**

This section will be updated to include a summary of public comments following this third public hearing.