



**City Council**  
Mayor John W. Minto  
Vice Mayor Laura Koval  
Council Member Ronn Hall  
Council Member Rob McNelis  
Council Member Dustin Trotter

# City of Santee

## REGULAR MEETING AGENDA

### Santee City Council

City Manager | Marlene D. Best  
City Attorney | Shawn D. Hagerty  
City Clerk | Annette Fagan Ortiz

### MEETING INFORMATION

**Wednesday, January 11, 2023**

**6:30 p.m.**

**Council Chambers | Building 2**

**10601 Magnolia Ave • Santee, CA 92071**

### Staff

Assistant to the City Manager | Kathy Valverde  
Community Services Director | Nicolas Chavez  
Finance Director/Treasurer | Heather Jennings  
Fire & Life Safety Director/Fire Chief | Justin Matsushita  
Human Resources Director | Matt Rankin  
Law Enforcement | Captain Michael McNeill

### TO WATCH LIVE:

AT&T U-verse channel 99 (SD Market) | Cox channel 117 (SD County)

[www.cityofsanteeca.gov](http://www.cityofsanteeca.gov)

### IN-PERSON ATTENDANCE

Please be advised that current public health orders recommend that attendees wear face coverings while inside the Council Chambers.

### LIVE PUBLIC COMMENT

Members of the public who wish to comment on matters on the City Council agenda or during Non-Agenda Public Comment may appear in person and submit a speaker slip, before the item is called. Your name will be called when it is time to speak.

**PLEASE NOTE:** Public Comment will be limited to 3 minutes and speaker slips will only be accepted until the item is called. The timer will begin when the participant begins speaking.



The City Council also sits as the Community Development Commission Successor Agency and the Santee Public Financing Authority. Any actions taken by these agencies are separate from the actions taken by City Council. For questions regarding this agenda, please contact the City Clerk's Office at (619) 258-4100 x114

**ROLL CALL:** Mayor John W. Minto  
 Vice Mayor Laura Koval – District 3  
 Council Member Rob McNelis – District 1  
 Council Member Ronn Hall – District 2  
 Council Member Dustin Trotter – District 4

**LEGISLATIVE INVOCATION:** Skyline Church Lakeside – Pastor Tedd Brent

**PLEDGE OF ALLEGIANCE**

**PROCLAMATION:** Retirement of Fire Chief John Garlow; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”)

**RECOGNITION:** Recognition in Memory of Shinene Johnson; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”)

**CONSENT CALENDAR:**

**PLEASE NOTE:** Consent Calendar items are considered routine and will be approved by one motion, with no separate discussion prior to voting. The public, staff or Council Members may request specific items be removed from the Consent Calendar for separate discussion or action. Speaker slips for this category must be presented to the City Clerk at the start of the meeting. Speakers are limited to 3 minutes.

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (City Clerk – Ortiz)**
- (2) **Approval of Meeting Minutes of the Santee City Council for the November 9, 2022, and the December 14, 2022, Regular Meetings and the December 14, 2022 Special Meeting; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (City Clerk – Ortiz)**
- (3) **Approval of Payment of Demands as Presented; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (Finance – Jennings)**
- (4) **Second Reading and Adoption of an Ordinance Establishing an Automatic One-Year Extension for Active Development Approvals, Due to the Economic Impacts of the Novel Coronavirus (COVID-19); Finding the California Environmental Quality Act (“CEQA” ) Inapplicable or Relying on a CEQA Exemption per State CEQA Guidelines Sections 15060 And 15269. (City Clerk – Ortiz)**



- (5) **Second Reading and Adoption of an Ordinance Amending Section 13.10.045 of the City of Santee Municipal Code Relating to Accessory Dwelling Units and Junior Accessory Dwelling Units; Finding the California Environmental Quality Act (“CEQA”) Inapplicable per California Public Resources Code Section 21080.17. (City Clerk – Ortiz)**
- (6) **Adoption of a Resolution Adopting Legislative Policy Memorandum 2023-01 for the Display of City Banners at Specified Locations within the City of Santee; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (City Manager – Best)**
- (7) **Adoption of a Resolution Authorizing the Purchase of Three LED Sign (Video Display) Panels and Software from Daktronics, Inc., per Sourcewell Contract #050819-DAK; Finding the Resolution Categorically Exempt from the California Environmental Quality Act (“CEQA”) per Section 15031 of the CEQA Guidelines. (Development Services – Engineering)**
- (8) **Adoption of a Resolution Approving an Amended Salary Schedule for Hourly, General and Management Employees; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (Human Resources – Rankin)**
- (9) **Claim Against the City by Allan Family Trust and Robert M. Allan Trustee; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (Human Resources – Rankin)**

**NON-AGENDA PUBLIC COMMENT (15 minutes):**

*Persons wishing to address the City Council regarding items not on the posted agenda may do so at this time. In accordance with State law, Council may not take action on an item not scheduled on the Agenda. If appropriate, the item will be referred to the City Manager or placed on a future agenda. This first Non-Agenda Public Comment period is limited to a total of 15 minutes. Additional Non-Agenda Public Comment is received prior to Council Reports.*



**PUBLIC HEARING:**

- (10) Public Hearing for a Tentative Parcel Map (TPM2020-1) and Development Review Permit (DR2020-1) for a Residential Subdivision Consisting of Four Single-Family Dwelling Units Located at 8732 Prospect Avenue in the Low-Medium Density Residential (R-2) Zone (Applicant: Palm Tree Investments); Finding the California Environmental Quality Act (“CEQA”) Inapplicable or Relying on a CEQA Exemption per State CEQA Guidelines Section 15315. (Development Services – Best)**

Recommendation:

1. Conduct and close the Public Hearing; and
2. Find that Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 are exempt from CEQA and authorize the filing of a Notice of Exemption; and
3. Adopt the Resolutions approving Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1.

**NEW BUSINESS:**

- (11) Introduction and First Reading of an Ordinance to Add Section 7.20.100 to the Santee Municipal Code to Protect the San Diego River Corridor; Finding the California Environmental Quality Act (“CEQA”) Inapplicable or Relying on a CEQA Exemption per State CEQA Guidelines Sections 15307 and 15308. (City Attorney – Hagerty)**

Recommendation:

1. Conduct the First Reading of the Ordinance;
2. Set the Ordinance for Second Reading on January 25, 2023; and
3. Find the Ordinance Category Exempt from the provisions of CEQA pursuant Sections 15060(c)(2), 15060(c)(3) and/or 15061(b)(3) and authorize the filing of a Notice of Exemption.

- (12) Possible Cancellation of a Regular City Council Summer Meeting; Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (Mayor – Minto)**

Recommendation:

Identify preferred date for meeting cancellation and direct the City Clerk to post a Notice of Meeting Cancellation at the appropriate time.



**CDC SUCCESSOR AGENCY:**

- (13) Resolution of the Community Development Commission Successor Agency Approving the Recognized Obligation Payment Schedule for the Period from July 1, 2023, to June 30, 2024, (“ROPS 23-24”); Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (Finance – Jennings)**

Recommendation:  
Adopt the Resolution.

**NON-AGENDA PUBLIC COMMENT (Continued):**

*All public comment not presented within the first Non-Agenda Public Comment period above will be heard at this time.*

**CITY COUNCIL REPORTS:**

**CITY MANAGER REPORTS:**

**CITY ATTORNEY REPORTS:**

**CLOSED SESSION:**

**ADJOURNMENT:**



**BOARDS, COMMISSIONS & COMMITTEES**  
**JANUARY & FEBRUARY MEETINGS**

Jan	05	SPARC	Council Chamber
Jan	09	Community Oriented Policing Committee	Council Chamber
Jan	11	Council Meeting	Council Chamber
Jan	25	Council Meeting	Council Chamber
Feb	02	SPARC	Council Chamber
Feb	08	Council Meeting	Council Chamber
Feb	13	Community Oriented Policing Committee	Council Chamber
Feb	22	Council Meeting	Council Chamber

The Santee City Council welcomes you and encourages your continued interest and involvement in the City's decision-making process.

**For your convenience, a complete Agenda Packet is available for public review at City Hall and on the City's website at [www.CityofSanteeCA.gov](http://www.CityofSanteeCA.gov).**

*The City of Santee complies with the Americans with Disabilities Act. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, as required by Section 12132 of the American with Disabilities Act of 1990 (42 USC § 12132). Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's Office at (619) 258-4100, ext. 112 at least 48 hours before the meeting, if possible.*



**MEETING DATE** January 11, 2023

**ITEM TITLE** PROCLAMATION: RETIREMENT OF FIRE CHIEF JOHN GARLOW;  
FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA  
ENVIRONMENTAL QUALITY ACT ("CEQA").

**DIRECTOR/DEPARTMENT** John W. Minto, Mayor

**SUMMARY**

Fire Chief John Garlow officially retired from the City of Santee on December 28, 2022, after more than 22 years of loyal and dedicated service.

The City honors John's distinguished accomplishments and service to the City of Santee.

**FINANCIAL STATEMENT**

N/A

**CITY ATTORNEY REVIEW**  N/A •  Completed

**RECOMMENDATION** *MAB*

Recognize retirement of John Garlow.

**ATTACHMENT**

None

**MEETING DATE** January 11, 2023

**ITEM TITLE** RECOGNITION IN MEMORY OF SHINENE JOHNSON; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”).

**DIRECTOR/DEPARTMENT** Council Member Koval

**SUMMARY**

Shinene Johnson passed away on November 19, 2022. The City of Santee would like to recognize Shinene for her volunteer service to the community. She volunteered tireless hours to help families in need, especially women and children.

She was the cofounder of Naomi’s Closet, a service that provided free clothing, accessories, shoes and toiletries to women in need, served countless hours at Santee United Methodist Church.

Her Celebration of Life will be held on January 15, 2023 at the El Cajon Elks Lodge 1812.

**FINANCIAL STATEMENT**

N/A

**CITY ATTORNEY REVIEW**  N/A  Completed

**RECOMMENDATION** *MSB*  
N/A

**ATTACHMENT**

Certificate of Recognition





City of Santee  
Certificate of Recognition

*presented to*

**THE SHINENE JOHNSON FAMILY**

Recognizing the loss of their loved one who volunteered many hours helping families in need, especially as cofounder of Naomi's Closet and with the Santee United Methodist Church. She is an inspiration to all whom she has left behind.

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Mayor John W. Minto  
January 11, 2023



**MEETING DATE** January 11, 2023

**ITEM TITLE** APPROVAL OF READING BY TITLE ONLY AND WAIVER OF READING IN FULL OF ORDINANCES AND RESOLUTIONS ON THE AGENDA; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

**DIRECTOR/DEPARTMENT** Annette Ortiz, CMC, City Clerk 

**SUMMARY**

This Item asks the City Council to waive the reading in full of all Ordinances on the Agenda (if any) and approve their reading by title only. The purpose of this Item is to help streamline the City Council meeting process, to avoid unnecessary delay and to allow more time for substantive discussion of Items on the agenda.

State law requires that all Ordinances be read in full either at the time of introduction or at the time of passage, unless a motion waiving further reading is adopted by a majority of the City Council. (Gov. Code, § 36934). This means that each word in each Ordinance would have to be read aloud unless such reading is waived. Such reading could substantially delay the meeting and limit the time available for discussion of substantive Items. Adoption of this waiver streamlines the procedure for adopting the Ordinances on tonight’s Agenda (if any), because it allows the City Council to approve Ordinances by reading aloud only the title of the Ordinance instead of reading aloud every word of the Ordinance.

The procedures for adopting Resolutions are not as strict as the procedures for adopting Ordinances. For example, Resolutions do not require two readings for passage, need not be read in full or even by title, are effective immediately unless otherwise specified, do not need to be in any particular format unless expressly required, and, with the exception of fixing tax rates or revenue amounts, do not require publication. However, like Ordinances, all Resolutions require a recorded majority vote of the total membership of the City Council. (Gov. Code § 36936).

**FINANCIAL STATEMENT**

N/A

**CITY ATTORNEY REVIEW**  N/A  Completed

**RECOMMENDATION**

It is recommended that the Council waive the reading of all Ordinances and Resolutions in their entirety and read by title only.

**ATTACHMENT**

None



**MEETING DATE** January 11, 2023

**ITEM TITLE** APPROVAL OF MEETING MINUTES OF THE SANTEE CITY COUNCIL FOR THE NOVEMBER 09, 2022, AND THE DECEMBER 14, 2022, REGULAR MEETINGS, AND THE DECEMBER 14 2022 SPECIAL MEETING; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

**DIRECTOR/DEPARTMENT** Annette Ortiz, CMC, City Clerk



**SUMMARY**

Submitted for your consideration and approval are the minutes of the above meetings.

**FINANCIAL STATEMENT**

N/A

**CITY ATTORNEY REVIEW**  N/A  Completed

**RECOMMENDATION**

Approve Minutes as presented.

**ATTACHMENT**

Regular Meeting Minutes

- November 09, 2022
- December 14, 2022

Special Meeting Minutes

- December 14, 2022

# DRAFT

**Minutes  
Santee City Council  
Council Chamber – Building 2  
10601 Magnolia Avenue  
Santee, California  
November 9, 2022**

This Regular Meeting of the Santee City Council was called to order by Mayor John W. Minto at 6:30 p.m.

**ROLL CALL:** Present: Mayor John W. Minto, Vice Mayor Ronn Hall and Council Members Laura Koval and Dustin Trotter – 4. Absent: Council Member McNelis – 1

Officers present: City Manager Marlene Best, City Attorney Shawn Hagerty, and City Clerk Annette Ortiz

**INVOCATION** was given by Chris DuFour – Calvary Chapel Santee

**PLEDGE OF ALLEGIANCE** was led by Alexander Diehl

**PROCLAMATION:** November 2022, Family Court Awareness Month

Mayor Minto presented the Proclamation to Tracey Mueller-Gibbs.

**PRESENTATION:** Santee City Cup Presentation: Varsity Football Game Between Santana and West Hills High Schools

Council Member Trotter presented the trophy to the Santana High School Football team and coach.

**PRESENTATION:** Veterans Appreciation

Council Member Trotter presented Certificates of Appreciation to Alex Diehl, the Santee VFW Post and American Legion Post 364. Mayor Minto presented a Certificate of Appreciation to Council Member Trotter. The Marketing Specialist presented a short video and presentation.

**CONSENT CALENDAR:**

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)**
- (2) **Approval of Meeting Minutes of the Santee City Council for the October 12, 2022, and the October 26, 2022, Regular Meetings. (City Clerk – Ortiz)**
- (3) **Approval of Payment of Demands as Presented. (Finance – Jennings)**

- (4) Approval of the Expenditure of \$73,164.09 for October 2022 Legal Services and Reimbursable Costs. (Finance – Jennings)
- (5) Adoption of a Resolution Awarding the Construction Contract for the Storm Drain Trash Diversion 2021 (CIP 2021-20) Project and Determining the Project is Categorically Exempt from Environmental Review Under the California Environmental Quality Act. (Development Services – Engineering) (Reso 132-2022)

**ACTION:** Vice Mayor Hall moved approval of the Consent Calendar.

Council Member Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Council Member McNelis – 1

**NON-AGENDA PUBLIC COMMENT (15 minutes):**

- (A) Rod Slavin spoke regarding the need for a Veteran’s Center in the City of Santee.
- (B) Becky Rapp spoke regarding mental health and cannabis.

**PUBLIC HEARING:**

- (6) Public Hearing for a Conditional Use Permit (P2022-4) and Variance (V2022-1) to Allow a Wireless Telecommunications Facility at West Hills High School, Located at 8756 Mast Boulevard, in the Low-Medium Density Residential (R-2) Zone and Finding the Project Categorically Exempt from the California Environmental Quality Act (CEQA) Pursuant to CEQA Guidelines Sections 15301 and 15303 (APN 366-081-18). Applicant: Dish Wireless. (Development Services – Planning) (Reso 133-2022)

The Public Hearing was opened at 7:13 p.m. The Associate Planner provided a PowerPoint presentation and, along with Kerrthan Diehl, Plancom INC., responded to Council questions.

**PUBLIC SPEAKER(S):**

- Kerrthan Diehl, Plancom INC.

**ACTION:** Council Member Trotter moved approval of staff recommendation.

Vice Mayor Hall seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Council Member McNelis – 1

The Public Hearing was closed at 7:24 p.m.

- (7) **Public Hearing and Approval of an Ordinance Rescinding Chapters 11.02, 11.04, 11.06, 11.08, 11.10, 11.12, 11.14, 11.16, 11.18, 11.20, 11.22, and 11.26 of Title 11 of the Santee Municipal Code Entitled “Building and Construction”, in their Entirety and Adopting by Reference the 2022 California Building Standards Code, Including the 2022 California Administrative Code, the 2022 California Building Code, the 2022 California Residential Code, the 2022 California Electrical Code, the 2022 California Mechanical Code, the 2022 California Plumbing Code, the 2022 California Energy Code, the 2022 California Historical Building Code, the 2022 California Existing Building Code, the 2022 California Green Building Standards Code, the 2022 California Fire Code, and the California Referenced Standards Code, Together with Modifications, Additions, and Deletions Thereto. (Development Services – Building) (Ord 605)**

The Public Hearing was opened at 7:25 p.m. The Building Official and Fire Marshall provided a PowerPoint presentation and responded to Council questions.

**ACTION:** Vice Mayor Hall moved approval of staff recommendation.

Council Member Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Council Member McNelis – 1

The Public Hearing was closed at 7:25 p.m.

**CONTINUED BUSINESS:**

- (8) **Update on the Delivery of Building Division Services within the Department of Development Services Including Staffing and Contract Support. (Development Services – Building)**

The Building Official provided a PowerPoint presentation and, along with key staff members, responded to Council questions.

City Attorney requested clarification from Council for Motion.

**ACTION:** Mayor Minto moved approval of staff recommendation Option 4 with authority provided to the City Manager to negotiate and execute a contract with Interwest, without bringing it back before Council, in a phased approach as outlined in the staff report, extending the contract from December 17, 2022 to the end of the fiscal year, June 30, 2023, with adjustments mentioned by the Building Official.

Vice Mayor Hall seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Council Member McNelis – 1

**(9) Update on Actions and Process Steps to Implement Recently Adopted Cannabis Ordinance. (City Manager – Best)**

The City Manager and Information Technology Analyst provided a PowerPoint presentation, and along with the City Attorney, responded to Council questions.

Under discussion, recommendations were given to staff.

**PUBLIC SPEAKER(S):**

- Becky Rapp
- Cameron Pittman

**NON-AGENDA PUBLIC COMMENT: (Continued)**

None.

**CITY COUNCIL REPORTS:**

Council Member Koval spoke regarding the San Diego Association of Governments meeting and the California Air Resources Board.

Council Member Trotter invited the community to the ribbon cutting event at Weston Park on November 10, 2022.

**CITY MANAGER REPORTS:**

The City Manager mentioned the new banners on the Veteran's bridge; she also reported on the pancake breakfast at the local fire station and the holiday tree lighting event that would take place on Friday, November 11.

**CITY ATTORNEY REPORTS:**

None.

**CLOSED SESSION:**

Council Members recessed at 8:49 p.m. and convened in Closed Session at 8:52 p.m.

**(10) Conference with Legal Counsel—Existing Litigation**

(Gov. Code §54956.9(d)(1).)

Name of Case: *Preserve Wild Santee, et al. v City of Santee, et al.*

Case No. San Diego Superior Court Case No. 37-2022-00041478-CU-MC-CTL

Council Members reconvened in Open Session at 9:16 p.m. with all members present, except Council Member McNelis who was absent. Mayor Minto reported existing litigation information received, no action taken.

**ADJOURNMENT:**

There being no further business, the meeting was adjourned at 9:16 p.m.

Date Approved:

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Annette Fagan Ortiz, CMC, City Clerk

DRAFT



# DRAFT

**Minutes  
Santee City Council  
Council Chamber – Building 2  
10601 Magnolia Avenue  
Santee, California  
December 14, 2022**

This Regular Meeting of the Santee City Council was called to order by Mayor John W. Minto at 6:30 p.m.

**ROLL CALL:** Present: Mayor John W. Minto, Vice Mayor Ronn Hall and Council Members Laura Koval, Rob McNelis and Dustin Trotter – 5

Officers present: City Manager Marlene Best, City Attorney Shawn Hagerty, and City Clerk Annette Ortiz

**INVOCATION** was given by Pastor Timothy Avazian, Lakeside Community Presbyterian Church

**PLEDGE OF ALLEGIANCE** was led by Aaron Strum, Building Official

**CONSENT CALENDAR:**

- (1) Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)
- (2) Approval of Payment of Demands as Presented. (Finance – Jennings)
- (3) Approval of the Expenditure of \$98,326.60 for November 2022 Legal Services and Reimbursable Costs. (Finance – Jennings)
- (4) Adoption of a Resolution Awarding a Professional Services Agreement to Disabled Access Consultants for the Completion of an Americans Disabilities Act (ADA) Self-Evaluation and Transition Plan and Authorizing the City Manager to Execute the Agreement. (Human Resources – Rankin) **(Reso 134-2022)**
- (5) Adoption of a Resolution Accepting the Citywide Pavement Repair and Rehabilitation Program 2022 (CIP 2022-01) Project as Complete. (Development Services – Engineering) **(Reso 135-2022)**
- (6) Adoption of a Resolution Authorizing the Purchase of a New 2024 Freightliner 114SD Conventional Chassis with a 15-Foot Dump Body Truck from PB Loader Corporation, per Sourcewell Contract #080521-PBL. (Fire – Garlow) **(Reso 136-2022)**
- (7) Adoption of a Resolution Authorizing the City Manager to Execute a Second Amendment to the Professional Services Agreement with Harris & Associates for the Safety and Environmental Justice Element. (Development Services – Planning) **(Reso 137-2022)**

- (8) **Adoption of a Resolution Authorizing the Appropriation and Expenditure of FY 2020 State Homeland Security Grant Funds in Accordance with all Program Requirements. (Fire – Garlow) (Reso 138-2022)**
- (9) **Adoption of a Resolution Authorizing Purchase of a New 2024 Ford E450 Chassis with Remount of Existing Ambulance Module onto the New Chassis and Trade-In of a 2017 Ford E450 Chassis, all with Braun Northwest, Inc. per HGACBUY Contract AM10-20. (Fire – Garlow) (Reso 139-2022)**
- (10) **Claim Against the City by Juanita Gibeault. (Human Resources – Rankin)**
- (11) **Proposed New Service Rates for the Waste Management Franchise Agreement for Solid Waste Services. (Community Services – Chavez)**

**ACTION:** Council Member McNelis moved approval of the Consent Calendar.

Council Member Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

**NON-AGENDA PUBLIC COMMENT (15 minutes):**

- (A) Dan Bickford, Santee Kiwanis President, spoke regarding the American Rescue Plan Act (ARPA) funds that were received.
- (B) Justin Schlaefli spoke regarding the new traffic signal on Magnolia Avenue near the new development.
- (C) Steven Gerard Sidlovsky sang a song and spoke regarding pro-life.

**PUBLIC HEARING:**

- (12) **Public Hearing for Conditional Use Permit P2021-1 and California Environmental Quality Act (CEQA) Exemption Prepared Pursuant to Section 15332 of the CEQA Guidelines for the Development of a 1,740 Square-Foot Restaurant with a Drive-Through in the General Commercial Zone (GC). The Project Location is 10308 Mission Gorge Road. Applicant: David Beshay; DNBA Properties, LLC. (Development Services – Planning) (Reso 140-2022)**

The Public Hearing was opened at 6:46 p.m. The Senior Planner provided a PowerPoint presentation and responded to Council questions.

**PUBLIC SPEAKER(S):**

- Justin Schlaefli
- Kevin Killham with Food Service Concepts, Inc, provided a PowerPoint presentation and responded to council questions.

**ACTION:** Council Member Koval moved approval of staff recommendation.

Mayor Minto seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

The Public Hearing was closed at 7:03 p.m.

- (13) **Public Hearing for Tentative Map TM2021-1, Development Review Permit DR2021-2 and California Environmental Quality Act (CEQA) Exemption AEIS2021-4 Prepared Pursuant to Section 15332 of the CEQA Guidelines for a Nine-Lot Residential Subdivision Located at the Northeast and Southeast Corners of Fanita Parkway and Lake Canyon Road in the Low-Medium Density Residential Zone (R-2) (Applicant: HomeFed Fanita Rancho, LLC). (Development Services – Planning) (Resos 141-2022 and 142-2022)**

Vice Mayor Hall and Council Member Trotter recused themselves from the Item and left the dais. The Public Hearing was opened at 7:03 p.m. The Senior Planner provided a PowerPoint presentation and responded to Council questions.

**ACTION:** Council Member McNelis moved approval of staff recommendation.

Council Member Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; and Council Members Koval: Aye; and McNelis: Aye. Vice Mayor Hall and Council Member Trotter – Recused. Ayes: 3. Noes: 0. Abstain: 2.

The Public Hearing was closed at 7:07 p.m.

Vice Mayor Hall and Council Member Trotter rejoined the meeting at 7:07 p.m.

- (14) **Adoption of an Urgency Ordinance and Introduction and First Reading of a Non-Urgency Ordinance of the City of Santee, California, Amending Section 13.10.045 of the Santee Municipal Code Relating to Accessory Dwelling Units and Junior Accessory Dwelling Units and Determining the Ordinance to be Exempt from the California Environmental Quality Act Under California Public Resources Code Section 21080.17. (Development Services – Planning) (ORD 606)**

The Public Hearing was opened at 7:07 p.m. The Associate Planner provided a PowerPoint presentation.

**ACTION:** Vice Mayor Hall moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

The Public Hearing was closed at 7:08 p.m.

**CONTINUED BUSINESS:**

- (15) Adoption of a Resolution Approving the First Amendment to Disposition and Development Agreement Between the City of Santee and Excel Acquisitions, LLC, for Development of Real Property Known as Parcel 4 of Parcel Map 18857 Located in Trolley Square. (City Manager/City Attorney – Best/Hagerty) (Reso 143-2022)

The City Manager provided information on the Item and responded to Council questions.

**PUBLIC SPEAKER(S):**

- Matt Johnson, Santee Trolley Square 991, LP
- Christopher Allen, Southwest Mountain States Regional Council of Carpenters

**ACTION:** Vice Mayor Hall moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

**NEW BUSINESS:**

- (16) Adoption of Urgency Ordinance and Introduction of Non-Urgency Ordinance Establishing an Automatic One-Year Extension for Active Development Approvals, Due to the Economic Impacts of the Novel Coronavirus (COVID-19). (City Manager – Best) (ORD 607)

The City Manager provided a staff report and responded to Council questions.

**ACTION:** Council Member McNelis moved approval of staff recommendation.

Council Member Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

- (17) Approval of a Resolution Declaring Pursuant to Government Code Section 54221 that Real Property Owned by the City Located on Mission Gorge Road Near Forester Creek (Assessor Parcel Numbers 383-124-18, 383-124-20, 383-124-54 and 383-124-56), are Non-Exempt Surplus Land, Approving the Form of Notice of Availability Therefor, Authorizing the City Manager to Comply with the Surplus Land Act, and Finding the Foregoing Categorically Exempt from CEQA Review Because it is Not a Project Subject to CEQA Review and, in the Alternative, it is Exempt Under CEQA Pursuant to a Class 12 Categorical Exemption. (City Manager – Best) (Reso 144-2022)

The City Manager introduced the Item and the Economic Development Manager provided a PowerPoint presentation.

**ACTION:** Council Member McNelis moved approval of staff recommendation.

Council Member Trotter seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

- (18) Resolution Declaring Pursuant to Government Code Section 54221 that Real Property Owned by the City Located at 9860 Prospect Avenue (Assessor Parcel Number 384-161-10), is Exempt Surplus Land, and Finding that Such Declaration is Exempt from Environmental Review Under the California Environmental Quality Act. (City Manager – Best) (Reso 145-2022)**

The City Manager introduced the Item and the Economic Development Manager provided a PowerPoint presentation.

**ACTION:** Council Member Koval moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

- (19) Resolution Appointing Tim McDermott as Interim Senior Accountant During a Recruitment for the Vacant Position, and Establishing an Exception to the 180-Day Waiting Period. (Human Resources/Finance – Rankin/Jennings) (Reso 146-2022)**

**ACTION:** Vice Mayor Hall moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

- (20) Appointment of Boards, Commissions and Committees Representatives for Council and Citizen Committees. (Mayor – Minto)**

The Mayor provided information on the Item, recommended Council Member Trotter as a replacement for Vice Mayor Hall working alongside Council Member Koval on the Fire Services Joint Powers Authority.

**ACTION:** Council Member Koval moved approval of the Mayor's recommendation.

Council Member Trotter seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

**(21) Selection of Mayor Pro Tempore (Vice Mayor). (Mayor – Minto)**

The Mayor provided information on the Item and responded to Council questions.

**ACTION:** Mayor Minto moved approval of staff recommendation.

Council Member Trotter seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

**OATH OF OFFICE:**

**(22) Selection of Mayor Pro Tempore (Vice Mayor). (Mayor – Minto)**

The Mayor introduced the Item and the City Clerk provided information followed by the Oath of Office ceremony.

**NON-AGENDA PUBLIC COMMENT: (Continued)**

None.

**CITY COUNCIL REPORTS:**

Mayor Minto invited County of San Diego Sheriff Tony Ray to speak.

**CITY MANAGER REPORTS:**

The City Manager congratulated the Council Members on being appointed.

**CITY ATTORNEY REPORTS:**

None.

**ADJOURNMENT:**

There being no further business, the meeting was adjourned at 7:35 p.m.

Date Approved:

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Annette Fagan Ortiz, CMC, City Clerk

# DRAFT

**Minutes  
Santee City Council  
Council Chamber – Building 2  
10601 Magnolia Avenue  
Santee, California  
December 14, 2022**

## **1. CALL TO ORDER**

This Special Meeting of the Santee City Council was called to order by Mayor John W. Minto at 6:01 p.m.

**Present:** Mayor John W. Minto, Vice Mayor Ronn Hall and Council Members Laura Koval, Rob McNelis and Dustin Trotter – 5.

## **2. CLOSED SESSION:**

### **Conference with Legal Counsel—Existing Litigation**

(Gov. Code §54956.9(d)(1).)

Name of Case: City of Santee v City Wide Protection Services, et al.

Case No. San Diego Superior Court Case No. 37-2022-00042169-CU-BC-CTL

### **Public Speakers:**

- Danny Henderson
- Tom Tamar
- Justin Schlaefli
- Jesus Contrevas
- Jose Guadarrama
- Bruno Araujo

Council Members recessed at 6:13 p.m. and convened in Closed Session at 6:14 p.m.

Council Members reconvened in Open Session at 6:28 p.m. with all members present. Mayor Minto reported that direction was provided to staff.

## **3. ADJOURNMENT**

There being no further business, the meeting was adjourned at 6:29 p.m.

Date Approved:

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Annette Ortiz, CMC, City Clerk

**MEETING DATE** January 11, 2023

**ITEM TITLE** APPROVAL OF PAYMENT OF DEMANDS; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA")

**DIRECTOR/DEPARTMENT** Heather Jennings, Finance

**SUMMARY**

A listing of checks that have been disbursed since the last Council meeting is submitted herewith for approval by the City Council.

**FINANCIAL STATEMENT**

Adequate budgeted funds are available for the Payment of Demands per the attached listing.

**CITY ATTORNEY REVIEW**  N/A  Completed

**RECOMMENDATION**

Approve the Payment of Demands as presented.

**ATTACHMENT**


- 1) Summary of Payments Issued
- 2) Voucher Lists



Payment of Demands  
Summary of Payments Issued

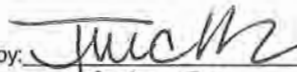
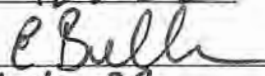
<u>Date</u>	<u>Description</u>	<u>Amount</u>
12/06/22	Accounts Payable	\$ 122,918.48
12/07/22	Accounts Payable	463,800.37
12/14/22	Accounts Payable	650,593.50
12/15/22	Accounts Payable	12,901.83
12/15/22	Payroll	391,127.33
12/16/22	Accounts Payable	25,046.07
12/16/22	Accounts Payable	35,171.70
12/20/22	Accounts Payable	112,164.98
12/21/22	Accounts Payable	1,592,573.06
12/21/22	Accounts Payable	23,569.00
12/21/22	Accounts Payable	122,721.96
12/28/22	Accounts Payable	536,165.15
12/28/22	Accounts Payable	12,394.10
12/29/22	Payroll	440,908.60
12/30/22	Accounts Payable	186,813.65
01/04/23	Retiree Health	<u>5,567.00</u>
	TOTAL	<u>\$4,734,436.78</u>

I hereby certify to the best of my knowledge and belief that the foregoing demands listing is correct, just, conforms to the approved budget, and funds are available to pay said demands.

  
 \_\_\_\_\_  
 Heather Jennings, Director of Finance

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
11224	12/6/2022	10353 PERS	11 22 4		RETIREMENT PAYMENT	122,918.48
<b>Total :</b>						<b>122,918.48</b>
1 Vouchers for bank code : ubgen						<b>Bank total : 122,918.48</b>
1 Vouchers in this report						<b>Total vouchers : 122,918.48</b>

Prepared by:   
Date: 12-6-22  
Approved by:   
Date: 12-6-22

Voucher List  
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132222	12/7/2022	13456 AGRICULTURAL PEST CONTROL	663644	53971	PEST CONTROL SERVICES	654.67
					<b>Total :</b>	<b>654.67</b>
132223	12/7/2022	14544 ANTON'S SERVICE INC	3 3R	53815	WESTON PARK IMPROVEMENTS RETENTION	47,150.00 -2,357.50
					<b>Total :</b>	<b>44,792.50</b>
132224	12/7/2022	14760 BOLLAND, PETER	1216		SENIOR PROGRAM SPEAKER	200.00
					<b>Total :</b>	<b>200.00</b>
132225	12/7/2022	13292 BORDER TIRE	22-0006971-008	53865	TIRES	1,503.47
					<b>Total :</b>	<b>1,503.47</b>
132226	12/7/2022	10299 CARQUEST AUTO PARTS	11102-573074	53869	VEHICLE REPAIR PART	10.73
					<b>Total :</b>	<b>10.73</b>
132227	12/7/2022	10031 CDW GOVERNMENT LLC	FC84525	54153	MATERIALS - CITY HALL FIBER PR	3,724.34
					<b>Total :</b>	<b>3,724.34</b>
132228	12/7/2022	10032 CINTAS CORPORATION #694	4137514598	53959	MISC SHOP RENTAL SERVICES	65.10
					<b>Total :</b>	<b>65.10</b>
132229	12/7/2022	12328 CINTAS CORP. #2	5131079011	53989	FIRST-AID KIT SERVICE	440.30
					<b>Total :</b>	<b>440.30</b>
132230	12/7/2022	10033 CITY ELECTRIC SUPPLY COMPANY	STE/085480	53990	ELECTRICAL SUPPLIES	625.73
					<b>Total :</b>	<b>625.73</b>
132231	12/7/2022	10234 COUNTY OF SAN DIEGO	01149-2012-RI-2022	54058	GENERATOR AIR POLLUTION CON	1,006.00
					<b>Total :</b>	<b>1,006.00</b>
132232	12/7/2022	10333 COX COMMUNICATIONS	112256001; NOV22		9130 CARLTON OAKS DR; 11/20 - 1.	92.52
					<b>Total :</b>	<b>92.52</b>
132233	12/7/2022	11168 CTE INC CLARK TELECOM AND	3183 3183R	53954	MAGNOLIA SIGNAL UPGRADE PRC RETENTION	91,722.00 -4,586.10

Voucher List  
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132255	12/7/2022	10097	10097 ROMAINE ELECTRIC CORPORATION (Continued)			<b>Total : 117.12</b>
132256	12/7/2022	10407	SAN DIEGO GAS & ELECTRIC			
			04229703218; NOV22		STREET LIGHTS	63,583.53
			04229703218; OCT22		STREET LIGHTS	-1,158.81
					<b>Total :</b>	<b>62,424.72</b>
132257	12/7/2022	13171	SC COMMERCIAL, LLC			
			2227500-IN	54168	PROPANE & FUEL	558.45
			2266205-IN	53902	DELIVERED FUEL	1,045.30
			2266978-IN	53902	DELIVERED FUEL	473.29
					<b>Total :</b>	<b>2,077.04</b>
132258	12/7/2022	12223	SITEONE LANDSCAPE SUPPLY LLC			
			123352154-001	54055	IRRIGATION PARTS	657.67
			123928334-001	54055	IRRIGATION PARTS	130.44
			124054838-001	54055	IRRIGATION PARTS	626.62
			124155410-001	54055	IRRIGATION PARTS	1,824.01
			124180061-001	54055	IRRIGATION PARTS	556.70
			124496257-001	54055	IRRIGATION PARTS	714.45
			124732868-001	54055	IRRIGATION PARTS	371.30
			125077904-001	54055	IRRIGATION PARTS	718.24
					<b>Total :</b>	<b>5,599.43</b>
132259	12/7/2022	14630	SNAP-ON INDUSTRIAL			
			ARV/55203309	54130	SHOP EQUIPMENT	9,413.06
					<b>Total :</b>	<b>9,413.06</b>
132260	12/7/2022	10217	STAPLES ADVANTAGE			
			3522877986	53936	STAPLES OFFICE SUPPLIES	55.23
			3523222322	53981	OFFICE SUPPLIES - DDS	37.88
					<b>Total :</b>	<b>93.11</b>
132261	12/7/2022	13019	STATEWIDE TRAFFIC SAFETY			
			01007851	53984	TEEN CENTER SIGN	329.72
			01007973	54064	TRAFFIC SIGNS, MATERIALS & SUI	336.18
					<b>Total :</b>	<b>665.90</b>
132262	12/7/2022	10119	STEVEN SMITH LANDSCAPE INC			
			50667	53985	A 3 LANDSCAPE SERVICES	2,872.16
			50850	53937	A 1 LANDSCAPE SERVICES	54,517.92
			50851	53938	A 2 LANDSCAPE SERVICES	20,182.33
			50852	53985	A 3 LANDSCAPE SERVICES	12,208.54
			50903	53937	A 1 LANDSCAPE SERVICES	2,330.72
			50904	53938	A2 LANDSCAPE SERVICES	3,451.60

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132262	12/7/2022	10119 STEVEN SMITH LANDSCAPE INC	(Continued) 50920	53937	A 1 LANDSCAPE SERVICES	63,720.00
<b>Total :</b>						<b>159,283.27</b>
132263	12/7/2022	10880 TERRYBERRY COMPANY LLC	M00147		SERVICE AWARD PINS	2,689.82
<b>Total :</b>						<b>2,689.82</b>
132264	12/7/2022	10692 UNITED PARCEL SERVICE	000006150X452		SHIPPING CHARGE	39.08
<b>Total :</b>						<b>39.08</b>
132265	12/7/2022	11305 VELOCITY TRUCK CENTERS	XA290136797:02 XA290137124:01	53913 53913	VEHICLE REPAIR PART CR-VEHICLE REPAIR PART	66.79 -57.39
<b>Total :</b>						<b>9.40</b>
132266	12/7/2022	10136 WEST COAST ARBORISTS INC	191943 191944 192438 192440	53939 53939 53939 53939	URBAN FORESTRY URBAN FORESTRY URBAN FORESTRY URBAN FORESTRY	7,142.40 4,942.00 2,149.63 4,445.90
<b>Total :</b>						<b>18,679.93</b>
45 Vouchers for bank code : ubgen						<b>Bank total : 463,800.37</b>
45 Vouchers in this report						<b>Total vouchers : 463,800.37</b>

Prepared by: Juan M  
 Date: 12-7-22  
 Approved by: E Bull  
 Date: 12-7-22

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132267	12/14/2022	13198 3-D ENTERPRISES, INC	6-CIP2022-40 6R-CIP2022-40	53769	TCCP FIELD UPGRADES CIP2022-4 RETENTION	159,282.51 -7,964.13 <b>Total : 151,318.38</b>
132268	12/14/2022	14626 HC WEST, LLC	SDS1223853-1	53969	BACKFLOW REPAIRS	198.00 <b>Total : 198.00</b>
132269	12/14/2022	10914 AC&D PUMP SERVICES INC	10901	54103	OPS PUMP STATION MAINT	1,025.00 <b>Total : 1,025.00</b>
132270	12/14/2022	11139 ACE UNIFORMS AND ACCESSORIES	SD0101255	54089	UNIFORM ACCESSORIES	202.51 <b>Total : 202.51</b>
132271	12/14/2022	11999 AMERICAN ASPHALT SOUTH INC	12-12-2022		RETENTION RELEASE	9,107.75 <b>Total : 9,107.75</b>
132272	12/14/2022	10020 BEST BEST & KRIEGER LLP	LEGAL SVCS NOV 2022		LEGAL SVCS NOV 2022	98,326.60 <b>Total : 98,326.60</b>
132273	12/14/2022	13292 BORDER TIRE	22-0013741-008	53865	TIRE SERVICE	538.55 <b>Total : 538.55</b>
132274	12/14/2022	10032 CINTAS CORPORATION #694	4138306998	53959	MISC SHOP RENTAL SERVICES	79.71 <b>Total : 79.71</b>
132275	12/14/2022	10050 CITY OF EL CAJON	259		HFTA FY 2022-23 1ST QTR	17,081.00 <b>Total : 17,081.00</b>
132276	12/14/2022	10333 COX COMMUNICATIONS	038997401; DEC22 094486701; DEC22		10601 N MAGNOLIA AVE APT 8 CITY HALL GROUP BILL	57.00 3,388.77 <b>Total : 3,445.77</b>
132277	12/14/2022	10046 D MAX ENGINEERING INC	7551	54080	STORMWATER INSPECTIONS & RE	5,108.02 <b>Total : 5,108.02</b>
132278	12/14/2022	10057 SAFEBUILT, LLC LOCKBOX #88135	10/2022 (October) 11/2022 (November)		SHARE OF FEES SHARE OF FEES	70,961.74 34,374.53

Voucher List  
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132278	12/14/2022	10057	10057 SAFEBUILT, LLC LOCKBOX #88135 (Continued)			<b>Total : 105,336.27</b>
132279	12/14/2022	11119	FERGUSON ENTERPRISES INC	2022558	54112 PLUMBING SUPPLIES	954.66
					<b>Total :</b>	<b>954.66</b>
132280	12/14/2022	10256	HOME DEPOT CREDIT SERVICES	0153341	53923 STATION SUPPLIES	12.90
				1153324	53923 TRAINING SUPPLIES	650.85
				2153315	53923 STATION SUPPLIES	96.73
				2162356	53923 STATION SUPPLIES	57.89
				6153303	53923 FLEET SHOP SUPPLIES	78.52
				CR - 0153340	53923 CR-STATION SUPPLIES RETRND	-3.71
					<b>Total :</b>	<b>893.18</b>
132281	12/14/2022	10203	LAKESIDE EQUIPMENT SALES &	233166	54135 GENERAL SPECIAL EVENTS EQUIP	587.58
					<b>Total :</b>	<b>587.58</b>
132282	12/14/2022	10204	LIFE ASSIST INC	1268501	53891 EMS SUPPLIES	617.86
					<b>Total :</b>	<b>617.86</b>
132283	12/14/2022	14470	M.W STEEL GROUP, INC	2200-08	53741 SANTEE ART & ENTERTAINMENT C	8,601.25
					<b>Total :</b>	<b>8,601.25</b>
132284	12/14/2022	14477	MERCURY ENTERPRISES	INV146164	53894 EMS SUPPLIES	983.50
					<b>Total :</b>	<b>983.50</b>
132285	12/14/2022	10308	O'REILLY AUTO PARTS	2968-115759	53896 VEHICLE REPAIR PART	17.06
				2968-122182	53896 VEHICLE SUPPLIES	82.49
					<b>Total :</b>	<b>99.55</b>
132286	12/14/2022	10344	PADRE DAM MUNICIPAL WATER DIST	29700015; NOV22	CONSTRUCTION METER	269.45
				90000366; NOV22	GROUP BILL	26,284.64
					<b>Total :</b>	<b>26,554.09</b>
132287	12/14/2022	14761	PAYNE'S HAULING & DEMO SERVICE	10012603	REFUND FOR OVERPAYMENT OF F	46.00
					<b>Total :</b>	<b>46.00</b>
132288	12/14/2022	12186	PETERSON LIGHTING	6013	HOLIDAY LIGHTING LIGHT RENTAL	50.00

Voucher List  
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132288	12/14/2022	12186 12186 PETERSON LIGHTING	(Continued)			<b>Total : 50.00</b>
132289	12/14/2022	12062 PURETEC INDUSTRIAL WATER	2031916	54000	DEIONIZED WATER SERVICE	131.08
						<b>Total : 131.08</b>
132290	12/14/2022	11830 RANCH EVENTS	E43748 E43749	54157 54157	CATERING SERVICES CATERING SERVICES	2,498.64 2,454.73
						<b>Total : 4,953.37</b>
132291	12/14/2022	10095 RASA	5661 5669 5670	54062 54062 54062	MAP CHECK - LANTERN CREST BC MAP CHECK - MAGNOLIA AVE MAP CHECK - LAS LOMAS	825.00 640.00 665.00
						<b>Total : 2,130.00</b>
132292	12/14/2022	12828 RICK ENGINEERING COMPANY	0090182 0090709	53946 53946	MASTER DRAINAGE STUDY MASTER DRAINAGE STUDY	49,461.00 62,837.00
						<b>Total : 112,298.00</b>
132293	12/14/2022	10096 ROGER DANIEL'S ALIGN & BRAKE	58386	53900	VEHICLE REPAIR	122.00
						<b>Total : 122.00</b>
132294	12/14/2022	13171 SC COMMERCIAL, LLC	2269979-IN 2272244-IN	53902 53902	DELIVERED FUEL DELIVERED FUEL	496.89 656.04
						<b>Total : 1,152.93</b>
132295	12/14/2022	14284 SDI PRESENCE LLC	11092	53800	SANTEE LMS PROCUREMENT	12,512.50
						<b>Total : 12,512.50</b>
132296	12/14/2022	14732 SPICE OF LIFE	08-3879		HEALTH FAIR VENDOR	4,708.38
						<b>Total : 4,708.38</b>
132297	12/14/2022	10217 STAPLES ADVANTAGE	3523353502 3523353503 3523605057 3523699601 3523699602 3523699603 3523699604	53982 53936 54040 54040 54040 53936 53935	OFFICE SUPPLIES OFFICE SUPPLIES OFFICE SUPPLIES - PSD OFFICE SUPPLIES - PSD OFFICE SUPPLIES - PSD OFFICE SUPPLIES FY 22/23 OFFICE SUPPLIES - FINAI	143.86 189.59 180.33 19.38 20.46 32.41 136.81



Voucher List  
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132297	12/14/2022	10217 10217 STAPLES ADVANTAGE	(Continued)			<b>Total : 722.84</b>
132298	12/14/2022	10119 STEVEN SMITH LANDSCAPE INC	50755 50934	53937 53418	A 1 LANDSCAPE SERVICES A 2 LANDSCAPE SERVICES	1,690.21 12,781.80 <b>Total : 14,472.01</b>
132299	12/14/2022	14706 TD SPORTS GROUP, LLC	4613	54151	SYNTHETIC TURF REPAIR TCCPE	27,277.00 <b>Total : 27,277.00</b>
132300	12/14/2022	10250 THE EAST COUNTY	00124970	53967	CLERK OFFICE PUBLICATIONS BU	199.50 <b>Total : 199.50</b>
132301	12/14/2022	10257 TYLER TECHNOLOGIES INC	045-398458	53803	PERMITTING SOFTWARE IMPLEME	12,843.50 <b>Total : 12,843.50</b>
132302	12/14/2022	10978 US BANK	6740071		TAX ALLOCATION BONDS 2016 A/B	1,325.00 <b>Total : 1,325.00</b>
132303	12/14/2022	11305 VELOCITY TRUCK CENTERS	XA290142531:01	53913	VEHICLE REPAIR PART	377.11 <b>Total : 377.11</b>
132304	12/14/2022	14762 VILLAGE CHURCH	10012603A		REFUND FOR INCORRECT PAYMEI	92.00 <b>Total : 92.00</b>
132305	12/14/2022	10136 WEST COAST ARBORISTS INC	192966	53939	URBAN FORESTRY	11,344.25 <b>Total : 11,344.25</b>
132306	12/14/2022	14687 WEX BANK	85701833		FLEET CARD FUELING	12,776.80 <b>Total : 12,776.80</b>
<b>40 Vouchers for bank code : ubgen</b>						<b>Bank total : 650,593.50</b>
<b>40 Vouchers in this report</b>						<b>Total vouchers : 650,593.50</b>

Bank code : ubqen

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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Prepared by: Juan M  
Date: 12.14.22  
Approved by: E. Bull  
Date: 12-14-22

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132307	12/15/2022	12903 AMERICAN FIDELITY ASSURANCE CO	2204736A		FLEXIBLE SPENDING ACCOUNT	1,905.06
					<b>Total :</b>	<b>1,905.06</b>
132308	12/15/2022	12722 FIDELITY SECURITY LIFE	165548141 165548941		EYEMED - VOLUNTARY VISION - C EYEMED - VOLUNTARY VISION	-18.58 1,084.75
					<b>Total :</b>	<b>1,066.17</b>
132309	12/15/2022	10508 LIFE INSURANCE COMPANY OF	December 2022		LIFE/LTD INSURANCE	2,822.07
					<b>Total :</b>	<b>2,822.07</b>
132310	12/15/2022	14458 METROPOLITAN LIFE INSURANCE	74903066		VOLUNTARY LEGAL	273.00
					<b>Total :</b>	<b>273.00</b>
132311	12/15/2022	10784 NATIONAL UNION FIRE INSURANCE	December 2022		VOLUNTARY AD&D	58.95
					<b>Total :</b>	<b>58.95</b>
132312	12/15/2022	10335 SAN DIEGO FIREFIGHTERS FEDERAL	December 2022		LONG TERM DISABILITY-SFFA	1,386.50
					<b>Total :</b>	<b>1,386.50</b>
132313	12/15/2022	10424 SANTEE FIREFIGHTERS	PPE 12/07/22		DUES/PEC/BENEVOLENT/BC EXP	3,260.47
					<b>Total :</b>	<b>3,260.47</b>
132314	12/15/2022	12892 SELMAN & COMPANY, LLC	December 22		ID THEFT PROTECTION	160.00
					<b>Total :</b>	<b>160.00</b>
132315	12/15/2022	10776 STATE OF CALIFORNIA	PPE 12/07/22		WITHHOLDING ORDER	449.53
					<b>Total :</b>	<b>449.53</b>
132316	12/15/2022	10001 US BANK	PPE 12/07/22		PARS RETIREMENT	768.24
					<b>Total :</b>	<b>768.24</b>
132317	12/15/2022	14600 WASHINGTON STATE SUPPORT	PPE 12/7/22		WITHHOLDING ORDER	751.84
					<b>Total :</b>	<b>751.84</b>
<b>11 Vouchers for bank code : ubgen</b>						<b>Bank total : 12,901.83</b>
<b>11 Vouchers in this report</b>						<b>Total vouchers : 12,901.83</b>

Bank code : ubgen

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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Prepared by: J. Smith  
Date: 12-15-22  
Approved by: E. Bult  
Date: 12-15-22

11/24/2022 to 12/7/2022-2 Cycle b

EARNINGS SECTION					DEDUCTIONS SECTION				LEAVE SECTION				
Type	Hours/units	Rate	Amount	Src	Plan	Base Wages	Deduction	Benefit/Cont	LvPlan	Accrued	Taken	Banked	Lost
vtkf	64.00		1,830.08		rhsabc	18,905.31	378.10						
vtkn	214.00		11,673.37		roth	29,270.01	5,159.01						
wcnt	232.00		7,318.30		sb-1		72.54						
					sb-3		50.22						
					sffa		2,698.27						
					sfapc		428.64						
					st1cs3	93,467.53	2,804.02	-2,804.02					
					st2cs3	13,360.13	400.81	-400.81					
					texlif		55.16						
					vaccpr		558.35						
					vaccpt		261.03						
					vcanpr		411.61						
					vcanpt		151.05						
					vgcprt		79.44						
					vision		545.75						
					voladd		29.44						
					voldis		234.94						
					vollif		234.12						
					vollpb			-234.12					
<b>Grand Totals</b>	14,825.63		603,916.29				212,788.96	71,496.05					

<b>Gross:</b>	603,916.29
<b>Net:</b>	391,127.33

<< No Errors / 13 Warnings >>

*EB*  
12/13/22  
Pay date 12/15/22  
PPE 12/7/22

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132319	12/16/2022	10001 US BANK	000042		EQUIPMENT MAINTENANCE	50.00
			0001		PIZZA - WORKING LUNCH HOLIDAY	55.20
			00033791		CUPCAKES FOR TCCPW RIBBON C	37.98
			00064387		INTERVIEW PANEL SNACKS	54.58
			000820		HOLIDAY LIGHTING EVENT SUPPL	15.28
			0051		TEEN CENTER SUPPLIES	75.93
			00584		MATERIALS & SUPPLIES	208.03
			0080008000		RIBBON CUTTING SUPPLIES - BOV	35.53
			0168266-IN		FD BADGES & BELT BUCKLES	1,131.98
			0169675-IN		FD BADGE REPAIR	91.85
			017418		PARKING	8.00
			018937		BOTTLE FOR TEMP TATTOOS - WE	2.69
			023012		WESTON RIBBON CUTTING	45.23
			028504		OPS YARD SUPPLIES	55.99
			03494		SMALL TOOLS	14.62
			035142		ELF HAT FOR HOLIDAY LIGHTING I	10.78
			03826		MATERIALS & SUPPLIES	138.87
			040323		CONFERENCE REGISTRATION	930.00
			044152		RIBBON CUTTING SUPPLIES	2.69
			050075		WATER FOR WESTON RIBBON CU	6.24
			05767		MATERIALS & SUPPLIES	223.67
			068		TEEN CENTER SUPPLIES	110.13
			071375		TCCP RIBBON CUTTING REFRESH	24.54
			092499		REFRESHMENTS FOR RIBBON CU	38.97
			10156		MEETING SUPPLIES	20.14
			10238092		MEETING DUES	25.00
			10252022		EQUIPMENT REPAIR PART	33.93
			102722		HOLIDAY LIGHTING SUPPLIES	92.41
			10551		MATERIALS & SUPPLIES	182.92
			11022022-1		MEETING DUES	25.00
			11092022		OFFICE SUPPLIES	40.93
			111-1244279-6805041		REFLECTIVE VESTS FOR SPECIAL	53.80
			111-1244279-685041		BLUE REFLECTIVE VESTS - SPECI	79.71
			111-1738181-7541020A		EQUIPMENT SUPPLIES	10.76
			111-1738181-7541020B		EQUIPMENT SUPPLIES	107.74
			11127085		HOLIDAY LIGHTING PROMOTION	250.00

Voucher List  
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132319	12/16/2022	10001 US BANK	(Continued)			
			111-2788434-9875458		STATION SUPPLIES	125.84
			111-3132871-6053026		STICKERS FOR HOLIDAY LIGHTING	34.44
			111-3181148-3351433		FITNESS EQUIPMENT	94.70
			111-5023147-6725801		GAME PRIZES FOR HOLIDAY LIGHTING	41.29
			111-7277731-8688243		EQUIPMENT SUPPLIES	12.92
			111-7607830-8089817		EQUIPMENT SUPPLIES	106.62
			11182022		PARKING	16.00
			111-8704513-0390657		CUPCAKE TOPPERS - TCCPW RIBBON	9.69
			111-8777415-1157820		BUTTERFLY TATTOOS - WESTON F	7.49
			112-1790230-8746635		MATERIALS & SUPPLIES	26.93
			112-5639683-3039427		MATERIALS & SUPPLIES	44.48
			112-8006236-5842657		MATERIALS & SUPPLIES	11.83
			112-8746995-0903418		MATERIALS & SUPPLIES	206.11
			112-8746995-0903418B		MATERIALS & SUPPLIES	4.32
			1129981		COMPLIANCE SIGNS FOR SHOWERS	63.26
			11324841954415414		TRIPOD	152.40
			11324841954415414B		PHONE SUPPLIES	49.13
			11328927465814616		VETERAN MEMORIAL FLYER HOLD	25.27
			113-5081320-9997813		OFFICE SUPPLIES - CODE COMPL	42.90
			11365362598617868		HOLIDAY DECORATIONS	18.29
			113-9128967-4597839		MEDIAN HOLIDAY LIGHTING	850.42
			114-3099428-5451401		OFFICE SUPPLIES	23.80
			114-3869471-1882652		VEHICLE PART	34.24
			11531		MEETING DUES	100.00
			12062022-2		MEETING SUPPLIES	5.33
			1208886870		ONLINE MEETING SOFTWARE	129.35
			1208889827		ONLINE MEETING SOFTWARE	129.35
			1208893121		ONLINE MEETING SOFTWARE	30.00
			1224		BREWS AND BITES EQUIPMENT RIBBON	-101.61
			123868		APWA LUNCHEON	40.00
			12704		BUILDING SUPPLIES	25.66
			12712		BUILDING 4 OFFICE UPGRADES	653.47
			12933		FIRE CAPTAIN TEST	100.84
			16582		SENIOR TRIPS	1,725.00
			1660257		OFFICE SUPPLIES	128.41
			17931810		PATHWAY LIGHTING	198.42

Voucher List  
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132319	12/16/2022	10001 US BANK	(Continued)			
			1897		FIRE CAPTAIN TEST	85.59
			19877586		REPLACEMENT REGISTRATION C/	23.45
			200461		HOLIDAY LIGHTING STAFF MEALS	36.74
			2012182		PUBLIC EDUCATION SUPPLIES	430.52
			2022214		SQUARE MARKETING NOVEMBER	55.00
			20503		MATERIALS & SUPPLIES	591.47
			20522		MATERIALS & SUPPLIES	260.58
			20548		MATERIALS & SUPPLIES	119.30
			2129953962		MEMBERSHIP FEES	50.00
			221025-07-17		MEETING EXPENSES	47.86
			22803932 103022		MATERIALS & SUPPLIES	62.94
			2357197421		DOMAIN NAME RENEWAL	82.68
			23940318		REINDEER HEADBANDS - HOLIDAY	577.68
			26865		BUTTERFLIES FOR WESTON RIBB	267.00
			27148467		HOLIDAY LIGHTING BANNERS	326.60
			27168675		HOLIDAY LIGHTING STAGE BANNE	113.88
			291712A		FIRE MECHANICS ACADEMY	430.60
			300010262		MEMBERSHIP RENEWAL - CSMFO	125.00
			30897		BATTERIES FOR PARK LIGHTING	1,137.33
			31163		SIGNS	28.60
			3433		MEETING SUPPLIES	7.04
			35		FIRE CONTROL 3 TRAINING	234.43
			3774		WEARING APPAREL	75.27
			40012		SENIOR PROGRAM SUPPLIES	24.78
			40029		SENIOR PROGRAM SUPPLIES	49.15
			403 8 96 334		STATION SUPPLIES	809.54
			409595321		SPECIAL EVENT STAFF WORK GLC	23.66
			42308		SMALL TOOLS	27.93
			42503237		ANNUAL MEMBERSHIP FOR CPRS	550.00
			42507852		ANNUAL MEMBERSHIP INTO CPRS	150.00
			42510599		ANNUAL MEMBERSHIP TO CPRS	165.00
			42513570		ANNUAL MEMBERSHIP FEES FOR	150.00
			42516497		ANNUAL MEMBERSHIP FEES FOR	150.00
			42519474		ANNUAL FEES FOR CPRS	20.00
			42521935		ANNUAL MEMBERSHIP TO CPRS	150.00
			42524506		ANNUAL MEMBERSHIP FOR CPRS	150.00



Voucher List  
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132319	12/16/2022	10001 US BANK	(Continued)			
			42526811		ANNUAL FEES FOR CPRS MEMBE	150.00
			434		SENIOR PROGRAM SUPPLIES	67.43
			5011002		SMALL TOOLS	100.84
			5024		EMPLOYEE NAME INSERTS	95.63
			510055		FITNESS PROGRAM MEMBERSHIP	49.50
			538		FIRE CAPTAIN TEST	46.35
			5396		EMPLOYEE NAME INSERTS	80.81
			56217		SUPPLIES FOR MILITARY THANKS	2.09
			59011		ERGONOMIC OFFICE EQUIPMENT	564.85
			5941331		MEETING SUPPLIES	5.33
			5965198		HOLIDAY LIGHTING CEREMONY	43.79
			605		TEEN CENTER AIR HOCKEY TABLE	484.86
			659880		FIRE CAPTAIN TEST	20.00
			6907		SPARC BREAKFAST MEETING	106.35
			717480		CALCITIES REGISTRATION CREDI	-425.00
			72812		MATERIAL & SUPPLIES	34.21
			737321		SENIOR TRIPS	61.05
			74430		VOLUNTEER REFRESHMENTS - HC	19.98
			74600		MATERIALS & SUPPLIES	58.12
			762281		MATERIALS & SUPPLIES	358.74
			76742		EMERG MGMT CONFERENCE	768.32
			77761		LICENSE RENEWAL - MILLER	180.00
			788		TEEN CENTER SUPPLIES	31.14
			8178737		FIRE CAPTAIN TEST	21.98
			8178997		FIRE CAPTAIN TEST	12.59
			82592		MATERIALS & SUPPLIES	19.36
			82600		BUILDING 4 OFFICE UPGRADES	232.47
			82937		MATERIALS & SUPPLIES	47.37
			86478		MATERIALS & SUPPLIES	130.76
			87536		EMPLOYEE EVENT SUPPLIES	26.99
			88354		MATERIALS & SUPPLIES	25.81
			8889019710632394		SPROUTS WELLNESS PROGRAM	231.08
			892		TEEN CENTER SUPPLIES	94.35
			89810		JOB ADVERTISING	75.00
			95088		SUPPLIES FOR MILITARY THANKS	323.72
			9742		INTERVIEW PANEL	75.73



Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
132319	12/16/2022	10001 US BANK	(Continued)				
			ch_2M2HO1OaiKbG3VYI0		EVENT REGISTRATION	40.00	
			Check#12		MEETING EXPENSE	48.00	
			E43631		COUNCIL SUPPLIES	750.00	
			H0673-336183		REFRIGERATOR PURCHASE	1,828.47	
			POS4287A		COUNCIL MEETING SUPPLIES	289.11	
			SMT-546017		SIGNAGE	297.56	
			SO2139294-2		SHRM MEMBERSHIP	229.00	
			YMnjORDB		MEMBERSHIP REGISTRATION - ST	295.00	
					<b>Total :</b>	<b>25,046.07</b>	
1 Vouchers for bank code : ubgen						<b>Bank total :</b>	<b>25,046.07</b>
1 Vouchers in this report						<b>Total vouchers :</b>	<b>25,046.07</b>

Prepared by: Juan M  
 Date: 12-16-22  
 Approved by: E Bull  
 Date: 12-16-22



Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
6647447	12/16/2022	14704 457 MISSIONSQUARE	PPE 12/07/22		ICMA - 457	31,028.05
					<b>Total :</b>	<b>31,028.05</b>
6952709	12/16/2022	14705 RHS MISSIONSQUARE	PPE 12/07/22		RETIREE HSA	4,143.65
					<b>Total :</b>	<b>4,143.65</b>
<b>2 Vouchers for bank code : ubgen</b>						<b>Bank total : 35,171.70</b>
<b>2 Vouchers in this report</b>						<b>Total vouchers : 35,171.70</b>

Prepared by:   
Date: 12-16-22  
Approved by:   
Date: 12-16-22

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
42584	12/19/2022	10956 FRANCHISE TAX BOARD	December 22 Retiree PPE 12/07/2022		CA STATE TAX WITHHELD CA STATE TAX WITHHELD	46.00 28,462.91
<b>Total :</b>						<b>28,508.91</b>
43062	12/19/2022	10955 DEPARTMENT OF THE TREASURY	December 22 Retirees PPE 12/07/22		FEDERAL WITHHOLDING TAX FED WITHHOLD & MEDICARE	211.00 83,445.07
<b>Total :</b>						<b>83,656.07</b>
<b>2 Vouchers for bank code : ubgen</b>						<b>Bank total : 112,164.98</b>
<b>2 Vouchers in this report</b>						<b>Total vouchers : 112,164.98</b>

Prepared by:   
 Date: 12-20-22  
 Approved by:   
 Date: 12-21-22

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132320	12/21/2022	10914 AC&D PUMP SERVICES INC	10922	54170	OPS PUMP STATION EMERGENCY	955.58
					<b>Total :</b>	<b>955.58</b>
132321	12/21/2022	13456 AGRICULTURAL PEST CONTROL	668118	53971	PEST CONTROL SERVICES	654.67
					<b>Total :</b>	<b>654.67</b>
132322	12/21/2022	10006 AMERICAN PLANNING ASSOCIATION	0000760		JOB POSTING	50.00
					<b>Total :</b>	<b>50.00</b>
132323	12/21/2022	14590 AP TRITON, LLC	2022-421	53850	RISK ASSESSMENT & DELIVERY AI	10,082.05
					<b>Total :</b>	<b>10,082.05</b>
132324	12/21/2022	10189 ATTENTION GETTERS DESIGN INC	50700 50939	53862 53862	VEHICLE SUPPLIES VEHICLE SUPPLIES	129.90 54.13
					<b>Total :</b>	<b>184.03</b>
132325	12/21/2022	14306 AZTEC LANDSCAPING, INC	J1325 J1339	53940 53940	CUSTODIAL SERVICES - PARKS CUSTODIAL SERVICES - PARKS	4,523.69 1,039.14
					<b>Total :</b>	<b>5,562.83</b>
132326	12/21/2022	13292 BORDER TIRE	22-0015421-008	53865	TIRES	941.71
					<b>Total :</b>	<b>941.71</b>
132327	12/21/2022	10876 CANON SOLUTIONS AMERICA INC	4040581631 4040581632	53987 53987	SCANNER MAINTENANCE PLOTTER MAINTENANCE & USAGE	117.11 27.75
					<b>Total :</b>	<b>144.86</b>
132328	12/21/2022	10032 CINTAS CORPORATION #694	4138857365 4138968724	53959 53959	MISC. SHOP RENTALS STATION SUPPLIES	65.10 46.80
					<b>Total :</b>	<b>111.90</b>
132329	12/21/2022	12328 CINTAS CORP. #2	5134676659	53989	FIRST-AID KIT SERVICE	392.03
					<b>Total :</b>	<b>392.03</b>
132330	12/21/2022	10050 CITY OF EL CAJON	438		HTFA FY 2022-23 2ND QTR	12,201.00
					<b>Total :</b>	<b>12,201.00</b>

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132331	12/21/2022	10979 CITY OF LA MESA	24983		FINGERPRINTING	140.00
					<b>Total :</b>	<b>140.00</b>
132332	12/21/2022	10035 COMPETITIVE METALS INC	459259	53872	EQUIPMENT REPAIR SUPPLIES	10.31
					<b>Total :</b>	<b>10.31</b>
132333	12/21/2022	12153 CORODATA RECORDS	RS4852756	53973	RECORD STORAGE, RETRIEVAL &	1,439.59
					<b>Total :</b>	<b>1,439.59</b>
132334	12/21/2022	11862 CORODATA SHREDDING INC	DN1388881	53974	SECURE DESTRUCTION SERVICE	96.69
					<b>Total :</b>	<b>96.69</b>
132335	12/21/2022	10333 COX COMMUNICATIONS	052335901; DEC22		8950 COTTONWOOD AVE	183.50
					<b>Total :</b>	<b>183.50</b>
132336	12/21/2022	13129 DAVID TURCH AND ASSOCIATES	11282022	53975	HIGHWAY 52 COALITION SUPPORT	5,000.00
					<b>Total :</b>	<b>5,000.00</b>
132337	12/21/2022	14347 DIAMOND EDUCATION	1048	53942	CONTINUING ED, QA & QI PRGRM	1,850.00
					<b>Total :</b>	<b>1,850.00</b>
132338	12/21/2022	13442 EBBIN MOSER + SKAGGS LLP	4983	52777	MSCP SUBAREA PLAN	8,827.50
					<b>Total :</b>	<b>8,827.50</b>
132339	12/21/2022	10065 GLOBAL POWER GROUP INC	85241	54053	GENERATOR MAINT & REPAIRS	108.20
			85242	54053	GENERATOR MAINT & REPAIRS	108.20
			85245	54053	GENERATOR MAINT & REPAIRS	108.20
			85246	54053	GENERATOR MAINT & REPAIRS	108.20
			85300	54053	GENERATOR MAINT & REPAIRS	428.14
					<b>Total :</b>	<b>860.94</b>
132340	12/21/2022	11196 HD SUPPLY FACILITIES	9209238233	53884	SHOP SUPPLIES	321.46
					<b>Total :</b>	<b>321.46</b>
132341	12/21/2022	10144 HDL COREN & CONE	SIN022379	53961	FY 22/23 PROP TAX AUDIT & INFO	4,750.00
					<b>Total :</b>	<b>4,750.00</b>
132342	12/21/2022	10256 HOME DEPOT CREDIT SERVICES	3153379	53923	STATION SUPPLIES	15.06

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132342	12/21/2022	10256 HOME DEPOT CREDIT SERVICES	(Continued) 5162383	53923	EQUIPMENT REPAIR PARTS	43.48
<b>Total :</b>						<b>58.54</b>
132343	12/21/2022	13558 KIFER HYDRAULICS CO, INC	73426	53887	EQUIPMENT REPAIR PARTS	44.38
<b>Total :</b>						<b>44.38</b>
132344	12/21/2022	10204 LIFE ASSIST INC	1270683 1270759 1270959 1271030	53891 53891 53891 53891	EMS SUPPLIES EMS SUPPLIES EMS SUPPLIES EMS SUPPLIES	591.33 10,140.31 744.96 668.16
<b>Total :</b>						<b>12,144.76</b>
132345	12/21/2022	10921 MEDLIN, RICHARD	12112022		EMPLOYEE REIMBURSEMENT	250.00
<b>Total :</b>						<b>250.00</b>
132346	12/21/2022	14477 MERCURY ENTERPRISES	INV148513	53894	EMS SUPPLIES	983.47
<b>Total :</b>						<b>983.47</b>
132347	12/21/2022	10306 MOTOROLA SOLUTIONS INC	8281521687	54056	RADIO EQUIPMENT	205.46
<b>Total :</b>						<b>205.46</b>
132348	12/21/2022	14776 NAJMNA LLC	CD22005s		REFUNDABLE DEPOSIT	383.10
<b>Total :</b>						<b>383.10</b>
132349	12/21/2022	10344 PADRE DAM MUNICIPAL WATER DIST	90000367; DEC22		GROUP BILL	18,506.56
<b>Total :</b>						<b>18,506.56</b>
132350	12/21/2022	14614 PARADIGM MECHANICAL CORP	5314	53951	HVAC MAINT & REPAIRS	572.61
<b>Total :</b>						<b>572.61</b>
132351	12/21/2022	10101 PROFESSIONAL MEDICAL SUPPLY	B021429 B021430 B021431	53958 53958 53958	OXYGEN CYLINDERS & REFILLS OXYGEN CYLINDERS & REFILLS OXYGEN CYLINDERS & REFILLS	109.20 239.00 84.30
<b>Total :</b>						<b>432.50</b>
132352	12/21/2022	10606 S.D. COUNTY SHERIFF'S DEPT.	SHERIFF OCTOBER 2022		LAW ENFORCEMENT OCTOBER 20	1,370,147.15

Voucher List  
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132352	12/21/2022	10606	10606 S.D. COUNTY SHERIFF'S DEPT.	(Continued)		<b>Total : 1,370,147.15</b>
132353	12/21/2022	13171	SC COMMERCIAL, LLC	2274285-IN	53902	DELIVERED FUEL 387.37
				2275644-IN	53902	DELIVERED FUEL 873.12
						<b>Total : 1,260.49</b>
132354	12/21/2022	14523	SCA OF CA, LLC	156148PS	53948	STREET SWEEPING SVCS 28,220.15
						<b>Total : 28,220.15</b>
132355	12/21/2022	10837	SOUTHWEST TRAFFIC SIGNAL	81965	54024	TRAFFIC SIGNAL SERVICE CALLS 6,629.85
				81966	54024	USA MARKOUTS 42.72
				81967	54024	TRAFFIC SIGNAL MISC. TASKS 287.78
				81968	54024	TRAFFIC SIGNAL MAINTENANCE 4,234.62
						<b>Total : 11,194.97</b>
132356	12/21/2022	14240	SPICER CONSULTING GROUP	1179	53572	ASSMNT ENGR & CFD SVC FY 21.2 2,656.25
						<b>Total : 2,656.25</b>
132357	12/21/2022	11341	SRM CONTRACTING & PAVING	#3R		RETENTION -1,755.75
				PAYMENT #3	53779	CUYAMACA STREET RESURFACING 35,115.00
						<b>Total : 33,359.25</b>
132358	12/21/2022	10217	STAPLES ADVANTAGE	3524127745	54040	OFFICE SUPPLIES - PSD 113.40
				3524127747	53981	OFFICE SUPPLIES - DDS 86.43
				3524127749	53966	STAPLES OFFICE SUPPLIES 106.70
				3524127750	53982	OFFICE SUPPLIES 21.05
				3524127751	53935	FY 22/23 OFFICE SUPPLIES - FINAI 69.20
						<b>Total : 396.78</b>
132359	12/21/2022	10838	STATE OF CA DEPT OF INDUST REL	OSIP 70030		WORK COMP ASSESSMENT 19,362.12
						<b>Total : 19,362.12</b>
132360	12/21/2022	10749	STATE WATER RESOURCES	SW-0247667		WATER RESOURCES PERMIT FEE 26,498.00
						<b>Total : 26,498.00</b>
132361	12/21/2022	10572	SUNBELT RENTALS INC	133422962-0001	54009	EQUIPMENT RENTAL 364.67
				133424533-0001	54009	EQUIPMENT RENTAL 377.78



Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132361	12/21/2022	10572 10572 SUNBELT RENTALS INC	(Continued)			<b>Total : 742.45</b>
132362	12/21/2022	14777 SURECRAFT DOOR & HARDWARE INC	Ref000083757		LI Refund Cst #17582	39.00 <b>Total : 39.00</b>
132363	12/21/2022	13401 TRI POINTE HOMES IE-SD, INC	12/15/2022		CFD FUNDS REIMBURSEMENT	556.66 <b>Total : 556.66</b>
132364	12/21/2022	13996 WESTERN AUDIO VISUAL	17656	54184	COUNCIL CHAMBERS AV EXTENDE	9,607.50 <b>Total : 9,607.50</b>
132365	12/21/2022	10537 WETMORE'S	06P48878	53916	VEHICLE REPAIR PARTS	190.26 <b>Total : 190.26</b>
<b>46 Vouchers for bank code : ubgen</b>						<b>Bank total : 1,592,573.06</b>
<b>46 Vouchers in this report</b>						<b>Total vouchers : 1,592,573.06</b>

Prepared by: *[Signature]*  
 Date: 12.21.22  
 Approved by: *[Signature]*  
 Date: 12/21/22

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
1210	12/21/2022	10482 TRISTAR RISK MANAGEMENT	116969		WORKERS COMP LOSSES; NOV 2:	23,569.00	
						<b>Total :</b>	<b>23,569.00</b>
1 Vouchers for bank code : ubgen						<b>Bank total :</b>	<b>23,569.00</b>
1 Vouchers in this report						<b>Total vouchers :</b>	<b>23,569.00</b>

Prepared by: Juel M  
Date: 12-29-22  
Approved by: E Bull  
Date: 1-3-23

vchlist  
12/21/2022 1:59:18PM

Voucher List  
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount		
12223	12/20/2022	10353 PERS	12 22 3		RETIREMENT PAYMENT	122,721.96		
						Total :	122,721.96	
1 Vouchers for bank code :		ubgen					Bank total :	122,721.96
1 Vouchers in this report						Total vouchers :	122,721.96	

Prepared by:

Date:

Approved by:

Date:

*Juan*

*12-21-22*

*EBull*

*12-21-22*

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132366	12/28/2022	11139 ACE UNIFORMS AND ACCESSORIES	SD0101648 SD0101981	53970 53970	WEARING APPAREL WEARING APPAREL	75.41 51.71 <b>Total : 127.12</b>
132367	12/28/2022	11445 AMERICAN MESSAGING	L1072898WL		FD PAGER SERVICE	198.35 <b>Total : 198.35</b>
132368	12/28/2022	10177 BAYOU BROTHERS PRODUCTIONS	12072022	54164	PAYMENT FOR MUSICAL ENTERTA	1,000.00 <b>Total : 1,000.00</b>
132369	12/28/2022	11513 BOND, ELLEN	01012023-263		MEADOWBROOK HARDSHIP PROC	117.86 <b>Total : 117.86</b>
132370	12/28/2022	11402 CARROLL, JUDI	01012023-96		MEADOWBROOK HARDSHIP PROC	118.15 <b>Total : 118.15</b>
132371	12/28/2022	10031 CDW GOVERNMENT LLC	FM43380	54072	TABLET DOCKING STATIONS	3,185.31 <b>Total : 3,185.31</b>
132372	12/28/2022	10032 CINTAS CORPORATION #694	4139733419	53959	MISC. RENTAL SERVICE	65.10 <b>Total : 65.10</b>
132373	12/28/2022	11409 CLAYTON, SYLVIA	01012023-340		MEADOWBROOK HARDSHIP PROC	123.64 <b>Total : 123.64</b>
132374	12/28/2022	10358 COUNTY OF SAN DIEGO	23CTOFSAN05 23CTOSASN05	54019 53941	SHERIFF RADIOS 800 MHZ ACCESS(FIRE/PS)	2,565.00 1,881.00 <b>Total : 4,446.00</b>
132375	12/28/2022	10839 COUNTY OF SAN DIEGO	DEH2007-HUPFP-208335		FY22/23 HAZMAT PERMIT-OPS CEI	973.00 <b>Total : 973.00</b>
132376	12/28/2022	10333 COX COMMUNICATIONS	063453006; DEC22 064114701; DEC22		9534 VIA ZAPADOR 8115 ARLETTE ST	93.25 197.65 <b>Total : 290.90</b>
132377	12/28/2022	11168 CTE INC CLARK TELECOM AND	3177	54027	DIG ALERT MARK OUTS	770.82

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132377	12/28/2022	11168 CTE INC CLARK TELECOM AND	(Continued) 3198 3210 3210R	54027 53954	STREET LIGHT REPAIRS - EXTRA V MAGNOLIA SIGNAL PROJECT RETENTION	305.74 43,290.00 -2,164.50 <b>Total : 42,202.06</b>
132378	12/28/2022	12655 DELL MARKETING LP	10629684635	54155	COMPUTER MONITORS	1,988.44 <b>Total : 1,988.44</b>
132379	12/28/2022	12593 ELLISON WILSON ADVOCACY, LLC	2022-12-07	53976	LEGISLATIVE ADVOCACY SERVICE	1,500.00 <b>Total : 1,500.00</b>
132380	12/28/2022	10251 FEDERAL EXPRESS	7-978-60622		SHIPPING CHARGES	42.37 <b>Total : 42.37</b>
132381	12/28/2022	12638 GEORGE HILLS COMPANY, INC.	INV1024429	54012	ADMIN - LIABILITY CLAIMS	1,416.66 <b>Total : 1,416.66</b>
132382	12/28/2022	11196 HD SUPPLY FM	2022 Q3		LOCATION AGMT PYMT 2022 Q3	405,610.61 <b>Total : 405,610.61</b>
132383	12/28/2022	10600 HINDERLITER, DE LLAMAS & ASSOC	SIN023538 (A) SIN023538 (B)	53962	FY 22/23 QRTL Y SALES TAX PREP AUDIT SERVICES - SALES TAX Q2/	2,300.00 654.83 <b>Total : 2,954.83</b>
132384	12/28/2022	10301 HORSMAN AUTOMOTIVE	21013 21019 21023 21024	53885 53885 53885 53885	VEHICLE SMOG TESTING VEHICLE SMOG TESTING VEHICLE SMOG TESTING VEHICLE SMOG TESTING	49.95 49.95 49.95 49.95 <b>Total : 199.80</b>
132385	12/28/2022	11807 IMPERIAL SPRINKLER SUPPLY	0008882763-001	54042	IRRIGATION PARTS	314.70 <b>Total : 314.70</b>
132386	12/28/2022	14089 INDUSTRIAL METAL SUPPLY CO	1834588	54048	VEHICLE SUPPLIES	1,604.33 <b>Total : 1,604.33</b>
132387	12/28/2022	10120 KEARNY PEARSON FORD	1820537	53886	VEHICLE REPAIR PARTS	13.04

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132387	12/28/2022	10120 KEARNY PEARSON FORD	(Continued) 1822718	53886	VEHICLE REPAIR PARTS	618.70
<b>Total :</b>						<b>631.74</b>
132388	12/28/2022	10308 O'REILLY AUTO PARTS	2968-123659 2968-123846 2968-123876	53896 53896 53896	VEHICLE REPAIR PART VEHICLE REPAIR PARTS VEHICLE REPAIR PART	17.06 26.32 13.95
<b>Total :</b>						<b>57.33</b>
132389	12/28/2022	12904 PAT DAVIS DESIGN GROUP, INC	7120	53956	GRAPHIC DESIGN WORK	1,950.00
<b>Total :</b>						<b>1,950.00</b>
132390	12/28/2022	11442 PATTERSON, EDWARD	01012023-225		MEADOWBROOK HARDSHIP PROC	113.99
<b>Total :</b>						<b>113.99</b>
132391	12/28/2022	13592 QUADIENT LEASING USA, INC	N9696542	53932	QUADIENT MAIL MACHINE LEASE	1,057.27
<b>Total :</b>						<b>1,057.27</b>
132392	12/28/2022	10407 SAN DIEGO GAS & ELECTRIC	34223805628; DEC22 79900685777; DEC22		ROW / MEDIANS (GAS) PARKS	261.84 19,142.05
<b>Total :</b>						<b>19,403.89</b>
132393	12/28/2022	13061 SAN DIEGO HUMANE SOCIETY &	DEC-22	54002	ANIMAL CONTROL SERVICES	36,794.00
<b>Total :</b>						<b>36,794.00</b>
132394	12/28/2022	13171 SC COMMERCIAL, LLC	2278786-IN 2279766-IN	53902 53902	DELIVERED FUEL DELIVERED FUEL	592.97 196.70
<b>Total :</b>						<b>789.67</b>
132395	12/28/2022	10110 SECTRAN SECURITY INC	22120527	54148	FY 22/23 ARMORED CAR TRANSPC	141.67
<b>Total :</b>						<b>141.67</b>
132396	12/28/2022	11072 SHOW STOPPER WAX PRODUCTS	6210	53904	VEHICLE SUPPLIES	234.90
<b>Total :</b>						<b>234.90</b>
132397	12/28/2022	14038 SINGH GROUP INC	01342	53905	DEAD ANIMAL REMOVAL SERVICE	1,443.71
<b>Total :</b>						<b>1,443.71</b>

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132398	12/28/2022	12223 SITEONE LANDSCAPE SUPPLY LLC	125077904-002	54055	IRRIGATION PARTS	233.75
<b>Total :</b>						<b>233.75</b>
132399	12/28/2022	10314 SOUTH COAST EMERGENCY VEHICLE	510659	53907	VEHICLE REPAIR PARTS	369.36
<b>Total :</b>						<b>369.36</b>
132400	12/28/2022	11403 ST. JOHN, LYNNE	01012023-78		MEADOWBROOK HARDSHIP PROC	118.37
<b>Total :</b>						<b>118.37</b>
132401	12/28/2022	10217 STAPLES ADVANTAGE	3524574962 3524574964	53966 53982	OFFICE SUPPLIES - CLERK'S OFFI OFFICE SUPPLIES	26.39 54.94
<b>Total :</b>						<b>81.33</b>
132402	12/28/2022	10027 STATE OF CALIFORNIA	622278		FINGERPRINTING SERVICES	224.00
<b>Total :</b>						<b>224.00</b>
132403	12/28/2022	10250 THE EAST COUNTY	00125546 00125547		PUBLIC HEARING - POPEYES CUP PUBLIC HEARING NOTICE - LAKE C	224.00 252.00
<b>Total :</b>						<b>476.00</b>
132404	12/28/2022	14354 TRILOGY MEDWASTE WEST, LLC	1244853 1244854		BIOMEDICAL WASTE DISPOSAL BIOMEDICAL WASTE DISPOSAL	125.61 125.61
<b>Total :</b>						<b>251.22</b>
132405	12/28/2022	10133 UNDERGROUND SERVICE ALERT	1120220697 22-2302000	54013 54013	DIG ALERT - MONTHLY TICKETS DIG ALERT SERVICES - STATE FEE	101.00 53.58
<b>Total :</b>						<b>154.58</b>
132406	12/28/2022	11194 USAFACT INC	2113268		BACKGROUND CHECKS	131.92
<b>Total :</b>						<b>131.92</b>
132407	12/28/2022	11305 VELOCITY TRUCK CENTERS	XA290141933:01 XA290143712:01	53913 53913	VEHICLE REPAIR PART VEHICLE REPAIR PART	68.95 65.72
<b>Total :</b>						<b>134.67</b>
132408	12/28/2022	10475 VERIZON WIRELESS	9922646189 9922646190		CELL PHONE SERVICE WIFI SERVICE	1,268.13 1,624.42

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
132408	12/28/2022	10475	10475 VERIZON WIRELESS		(Continued)	Total : 2,892.55
43 Vouchers for bank code : ubgen						Bank total : 536,165.15
43 Vouchers in this report						Total vouchers : 536,165.15

Prepared by: Jenna M  
Date: 12-28-22  
Approved by: T. K. M. G. P.  
Date: 12/28/22



Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
132409	12/28/2022	12724 AMERICAN FIDELITY ASSURANCE	D532374		VOLUNTARY LIFE INS-AM FIDELITY	4,578.04	
					<b>Total :</b>	<b>4,578.04</b>	
132410	12/28/2022	12903 AMERICAN FIDELITY ASSURANCE CO	2204737A		FLEXIBLE SPENDING ACCOUNT	1,905.06	
					<b>Total :</b>	<b>1,905.06</b>	
132411	12/28/2022	14452 MEDICAL AIR SERVICES ASSC, MASA	1414244		MEDICAL AIR TRANSPORT SVCS	126.00	
					<b>Total :</b>	<b>126.00</b>	
132412	12/28/2022	10424 SANTEE FIREFIGHTERS	PPE 12/21/22		DUES/PEC/BENEVOLENT	3,304.32	
					<b>Total :</b>	<b>3,304.32</b>	
132413	12/28/2022	10776 STATE OF CALIFORNIA	PPE 12/21/22		WITHHOLDING ORDER	449.53	
					<b>Total :</b>	<b>449.53</b>	
132414	12/28/2022	10776 STATE OF CALIFORNIA	PPE 12/21/22		WITHHOLDING ORDER	152.30	
					<b>Total :</b>	<b>152.30</b>	
132415	12/28/2022	14467 TEXAS LIFE INSURANCE COMPANY	SM0F0U20221218001		VOLUNTARY INS RIDERS	110.35	
					<b>Total :</b>	<b>110.35</b>	
132416	12/28/2022	10001 US BANK	PPE 12/21/22		PARS RETIREMENT	1,016.66	
					<b>Total :</b>	<b>1,016.66</b>	
132417	12/28/2022	14600 WASHINGTON STATE SUPPORT	PPE 12/21/22		WITHHOLDING ORDER	751.84	
					<b>Total :</b>	<b>751.84</b>	
<b>9 Vouchers for bank code :</b> ubgen						<b>Bank total :</b>	<b>12,394.10</b>
<b>9 Vouchers in this report</b>						<b>Total vouchers :</b>	<b>12,394.10</b>

Prepared by: [Signature]

Date: 12-28-22

Approved by: [Signature]

Date: 12/28/22

12/8/2022 to 12/21/2022-3 Cycle b

EARNINGS SECTION					DEDUCTIONS SECTION				LEAVE SECTION				
Type	Hours/units	Rate	Amount	Src	Plan	Base Wages	Deduction	Benefit/Cont	LvPlan	Accrued	Taken	Banked	Lost
Grand Totals	15,430.93		657,124.79				216,216.19	99,966.52					
										Gross:	657,124.79		
										Net:	440,908.60		

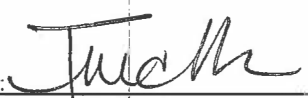

<< No Errors / 13 Warnings >>

*E Bull*  
*12/27/22*

*PPE 12/21/22*  
*Pay date 12/29/22*

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
81597	12/30/2022	10956 FRANCHISE TAX BOARD	PPE 12/21/22		CA STATE TAX WITHHELD	32,861.58
					<b>Total :</b>	<b>32,861.58</b>
81619	12/30/2022	10955 DEPARTMENT OF THE TREASURY	PPE 12/21/22		FED WITHHOLD & MEDICARE	98,318.62
					<b>Total :</b>	<b>98,318.62</b>
6168351	12/30/2022	14705 RHS MISSIONSQUARE	PPE 12/21/22		RETIREE HSA	4,303.41
					<b>Total :</b>	<b>4,303.41</b>
6992725	12/30/2022	14704 457 MISSIONSQUARE	PPE 12/21/22		ICMA - 457	51,330.04
					<b>Total :</b>	<b>51,330.04</b>
4 Vouchers for bank code : ubgen						<b>Bank total : 186,813.65</b>
4 Vouchers in this report						<b>Total vouchers : 186,813.65</b>

Prepared by:   
Date: 12.30.22  
Approved by:   
Date: 1-3-23

1/1/2023 to 1/31/2023-1 Cycle m

EARNINGS SECTION					DEDUCTIONS SECTION			LEAVE SECTION					
Type	Hours/units	Rate	Amount	Src	Plan	Base Wages	Deduction	Benefit/Cont	LvPlan	Accrued	Taken	Banked	Lost
<b>Grand Totals</b>					<b>Employees: 32</b>								
reth			5,824.00		catax	5,824.00	46.00						
					fedtax	5,824.00	211.00						
<b>Grand Totals</b>	0.00		5,824.00				257.00	0.00					

Gross:	5,824.00
Net:	5,567.00

<< No Errors / No Warnings >>

*EB*  
*1/3/23*  
*Pay date 1/4/23*  
*Pay Period Ending 1/2/23*

**MEETING DATE** January 11, 2023

**ITEM TITLE** SECOND READING AND ADOPTION OF AN ORDINANCE OF THE CITY OF SANTEE, CALIFORNIA ESTABLISHING AN AUTOMATIC ONE-YEAR EXTENSION FOR ACTIVE DEVELOPMENT APPROVALS, DUE TO THE ECONOMIC IMPACTS OF THE NOVEL CORONAVIRUS (COVID-19); FINDING THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") INAPPLICABLE OR RELYING ON A CEQA EXEMPTION PER STATE CEQA GUIDELINES SECTIONS 15060 AND 15269

**DIRECTOR/DEPARTMENT** Annette Ortiz, City Clerk 

**SUMMARY**

The Introduction and First Reading of the above-entitled Ordinance was approved at a Regular Council Meeting on Wednesday, December 14, 2022. The Ordinance is now presented for Second Reading by title only, and adoption.

Vote at First Reading:    AYES:     HALL, KOVAL, MCNELIS, MINTO, TROTTER  
                                     NOES:     NONE  
                                     ABSENT:  NONE

**ENVIRONMENTAL REVIEW**

The proposed Ordinance is not subject to CEQA pursuant to Sections 15060(c)(2) and 15060(c)(3), because the Ordinance has no potential for resulting in physical change to the environment, directly or indirectly. The proposed Ordinance is also statutorily exempt under Title 14 of the California Code of Regulations, section 15269(c), as specific actions necessary to prevent or mitigate an emergency.

**FINANCIAL STATEMENT** 

None.

**CITY ATTORNEY REVIEW**    N/A •  Completed

**RECOMMENDATION** 

Adopt the Ordinance.

**ATTACHMENT**

Ordinance

ORDINANCE NO. \_\_\_\_

**AN ORDINANCE OF THE CITY OF SANTEE, CALIFORNIA ESTABLISHING AN AUTOMATIC ONE-YEAR EXTENSION FOR ACTIVE DEVELOPMENT APPROVALS, DUE TO THE ECONOMIC IMPACTS OF THE NOVEL CORONAVIRUS (COVID-19)**

**WHEREAS**, on March 4, 2020, the Governor of the State of California proclaimed a state of an emergency to exist in California due to spread of the novel coronavirus (“COVID-19”); and

**WHEREAS**, on March 11, 2020, the World Health Organization (WHO) publicly characterized COVID-19 as a pandemic; and

**WHEREAS**, on March 13, 2020, the President of the United States declared a national emergency due to the continued spread and the effects of COVID-19 and announced that the federal government would make emergency funding available to assist state and local governments in preventing the spread of and addressing the effects of COVID-19; and

**WHEREAS**, on March 16, 2020, the Governor of the State of California issued Executive Order N-28-20, wherein he found that the economic impacts of COVID-19 have been significant, and could threaten to undermine the stability of California businesses; and

**WHEREAS**, on March 25, 2020, the Santee City Council adopted Emergency Resolution 023-2020, declaring the existence of a local emergency due to COVID-19; and

**WHEREAS**, on March 27, 2020, the San Diego County Public Health Officer issued an order limiting gatherings of a certain number, closing certain business establishments, limiting the operations of other business establishments, and requiring social distancing, increased sanitation standards, and the use of telecommuting; and

**WHEREAS**, on April 17, 2020, the Governor labeled California’s economic crisis a “pandemic-induced recession;” and

**WHEREAS**, on October 14, 2020, the City Council adopted Urgency Ordinance No. 583, approving an automatic one-year extension for all development approvals then in effect; and

**WHEREAS**, on June 11, 2021, the San Diego County Public Health Officer issued a new order, ending certain restrictions on business operations, but continuing requirements for the use of face coverings, restrictions on large gatherings, and recommendations regarding travel limitations; and

**WHEREAS**, on October 13, 2021, the City Council adopted Urgency Ordinance No. 593, approving another automatic one-year extension for all development approvals then in effect, and

**WHEREAS**, as of the date of this Ordinance, employee shortages and materials shortages, in addition to public health orders to limit public gatherings and socially distance, continue to have a financial impact on local businesses; and

**ORDINANCE NO. \_\_\_\_**

**WHEREAS**, as of the date of this Ordinance, and in order to prevent further exposure, many businesses have imposed work from home policies; meetings, events and social gatherings are being cancelled as people remain at home; customers are not patronizing restaurants and stores in the same numbers as they did before the pandemic; and

**WHEREAS**, many businesses have experienced or are experiencing restrictions on operations related to COVID-19, which delay their ability to proceed with approved development in the City; and

**WHEREAS**, California Government Code section 8634 allows the City Council, as the governing body, to make orders and regulations necessary during a local emergency to provide for the protection of life and property; and

**WHEREAS**, Santee Municipal Code section 13.04.090(A) provides that approvals for development review, conditional use permits, minor conditional use permits, variances and minor deviations shall lapse three years from the approval date, unless certain actions occur; and

**WHEREAS**, Santee Municipal Code section 13.04.090(B) provides that extensions of the approvals may be granted for up to two years and shall not exceed a total of five years from the original date of approval; and

**WHEREAS**, to help relieve the continued pressure on businesses resulting from the limitations on financing and construction due to the pandemic-induced recession, the City desires to automatically extend by one year all development approvals described in Santee Municipal Code section 13.04.090(A) that are in effect and not lapsed on December 14, 2022; and

**WHEREAS**, this automatic one-year extension is in addition to the two (2) one-year extensions granted pursuant to Urgency Ordinance No. 583 and Urgency Ordinance No. 593, and will have no effect on an applicant's eligibility for other extensions otherwise allowed under the Santee Municipal Code.

**NOW, THEREFORE**, the City Council of the City of Santee does ordain as follows:

**SECTION 1.** The recitals above are each incorporated by reference and adopted as findings by the City Council.

**SECTION 2.** An automatic one-year extension is granted to all City development approvals described in Santee Municipal Code section 13.04.090(A) that are in effect and have not lapsed as of December 14, 2022. This automatic one-year extension is in addition to the two (2) one-year extensions granted pursuant to Urgency Ordinance No. 583 and Urgency Ordinance No. 593, and has no effect on an applicant's eligibility for other extensions otherwise allowed under the Santee Municipal Code.

**ORDINANCE NO. \_\_\_\_**

**SECTION 3.** In accordance with the California Environmental Quality Act (Pub. Resources Code, § 21000 et seq.) (“CEQA”) and the State CEQA Guidelines (Cal. Code Regs., tit. 14, § 15000 et seq.), the City Council finds that adoption and implementation of this Ordinance is not subject to CEQA pursuant to Sections 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and 15060(c)(3) (the activity is not a project as defined in Section 15378), because this Ordinance has no potential for resulting in physical change to the environment, directly or indirectly. This Ordinance is also statutorily exempt under Title 14 of the California Code of Regulations, section 15269(c), as a specific action necessary to prevent or mitigate an emergency.

**SECTION 4.** The City Clerk shall either: (a) have this Ordinance published in a newspaper of general circulation within 15 days after its adoption or (b) have a summary of this Ordinance published twice in a newspaper of general circulation, once five days before its adoption and again within 15 days after its adoption.

**SECTION 5.** If any provision of this Ordinance or its application to any person or circumstance is held to be invalid, such invalidity has no effect on the other provisions or applications of the ordinance that can be given effect without the invalid provision or application, and to this extent, the provisions of this resolution are severable. The City Council declares that it would have adopted this resolution irrespective of the invalidity of any portion thereof.

**INTRODUCED AND FIRST READ** at a Regular Meeting of the City Council of the City of Santee, California on the 14th day of December, 2022, and thereafter **ADOPTED** at a Regular Meeting of the City Council held on the 11th day of January, 2023, by the following roll call vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

**APPROVED:**

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**JOHN W. MINTO, MAYOR**

**ATTEST:**

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**ANNETTE ORTIZ, CMC, CITY CLERK**



**MEETING DATE** January 11, 2023

**ITEM TITLE** SECOND READING AND ADOPTION OF AN ORDINANCE OF THE CITY OF SANTEE, CALIFORNIA AMENDING SECTION 13.10.045 OF THE CITY OF SANTEE MUNICIPAL CODE RELATING TO ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING UNITS; FINDING THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") INAPPLICABLE PER CALIFORNIA PUBLIC RESOURCES CODE SECTION 21080.17

**DIRECTOR/DEPARTMENT** Annette Ortiz, City Clerk 

**SUMMARY**

The Introduction and First Reading of the above-entitled Ordinance was approved at a Regular Council Meeting on Wednesday, December 14, 2022. The Ordinance is now presented for Second Reading by title only, and adoption.

Vote at First Reading: AYES: HALL, KOVAL, MCNELIS, MINTO, TROTTER  
NOES: NONE  
ABSENT: NONE

**ENVIRONMENTAL REVIEW**

Under California Public Resources Code section 21080.17, the California Environmental Quality Act ("CEQA") does not apply to the adoption of an ordinance by a city or county implementing the provisions of section 65852.2 of the Government Code, which is California's ADU law and which also regulates JADUs, as defined by section 65852.22. Therefore, the ordinance is statutorily exempt from CEQA.

**FINANCIAL STATEMENT** 

None.

**CITY ATTORNEY REVIEW**  N/A •  Completed

**RECOMMENDATION** 

Adopt the Ordinance.

**ATTACHMENT**

Ordinance



**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA  
AMENDING SECTION 13.10.045 OF THE CITY OF SANTEE MUNICIPAL CODE  
RELATING TO ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING  
UNITS AND DETERMINING THE ORDINANCE TO BE EXEMPT FROM CEQA**

**WHEREAS**, the City of Santee, California (“City”) is a municipal corporation, duly organized under the constitution and laws of the State of California; and

**WHEREAS**, state law authorizes cities to act by ordinance to provide for the creation and regulation of accessory dwelling units (“ADUs”) and junior accessory dwelling units (“JADUs”); and

**WHEREAS**, in recent years, the California Legislature has approved, and the Governor has signed into law, a number of bills that, among other things, amended Government Code sections 65852.2 and 65852.22 to impose new limits on local authority to regulate ADUs and JADUs; and

**WHEREAS**, in 2022, the California Legislature approved, and the Governor signed into law, a new bill (SB 897) that further amends Government Code sections 65852.2 and 65852.22; and

**WHEREAS**, the City desires to amend its local regulatory scheme for the construction of ADUs and JADUs to comply with the amended provisions of Government Code sections 65852.2 and 65852.22; and

**WHEREAS**, on December 14, 2022, the City held a duly noticed public hearing on the ordinance.

**NOW, THEREFORE**, the City Council of the City of Santee does ordain as follows:

**Section 1. Incorporation of Recitals.** The recitals above are each incorporated by reference and adopted as findings by the City Council.

**Section 2. CEQA.** Under California Public Resources Code section 21080.17, the California Environmental Quality Act (“CEQA”) does not apply to the adoption of an ordinance by a city or county implementing the provisions of section 65852.2 of the Government Code, which is California’s ADU law and which also regulates JADUs, as defined by section 65852.22. Therefore, the proposed ordinance is statutorily exempt from CEQA in that the proposed ordinance implements the State’s ADU law.

**Section 3. General Plan.** This Ordinance is, as a matter of law, consistent with the City’s General Plan pursuant to Government Code Section 65852.2(a)(1)(C).

**Section 4. Code Update.** Section 13.10.045 of the Santee Municipal Code is hereby amended and restated to read in its entirety as provided in Exhibit A, attached hereto and incorporated herein by reference.

ORDINANCE NO. \_\_\_\_\_

**Section 5. Effective Date.** This ordinance shall take effect 30 days after its adoption.

**Section 6. Publication.** The City Clerk shall either: (a) have this ordinance published in a newspaper of general circulation within 15 days after its adoption or (b) have a summary of this ordinance published twice in a newspaper of general circulation, within 15 days after its adoption.

**Section 7. Submission to HCD.** The City Clerk shall submit a copy of this ordinance to the Department of Housing and Community Development within 60 days after adoption.

**Section 8. Severability.** If any provision of this ordinance or its application to any person or circumstance is held to be invalid, such invalidity has no effect on the other provisions or applications of the ordinance that can be given effect without the invalid provision or application, and to this extent, the provisions of this resolution are severable. The City Council declares that it would have adopted this resolution irrespective of the invalidity of any portion thereof.

**INTRODUCED AND FIRST READ** at a Regular Meeting of the City Council of the City of Santee, California on the 14<sup>th</sup> day of December, 2022 and thereafter **ADOPTED** by the City Council of the City of Santee, California, at a Regular Meeting thereof held on the 11<sup>th</sup> day of January, 2023 by the following vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

**APPROVED:**

\_\_\_\_\_  
**JOHN W. MINTO, MAYOR**

**ATTEST:**

\_\_\_\_\_  
**ANNETTE ORTIZ, CMC, CITY CLERK**

Exhibit A: Amendments to Municipal Code

**ORDINANCE NO. \_\_\_\_\_**

**EXHIBIT A**  
**Amended ADU Regulations**  
(follows this page)

## EXHIBIT A

### **13.10.045 Accessory dwelling units.**

A. Purpose. The purpose of this section is to allow and regulate accessory dwelling units (ADUs) and junior accessory dwelling units (JADUs) in compliance with California Government Code Sections 65852.2 and 65852.22.

B. Effect of Conforming. An ADU or JADU that conforms to the standards in this section will not be:

1. Deemed to be inconsistent with the City's general plan and zoning designation for the lot on which the ADU or JADU is located.
2. Deemed to exceed the allowable density for the lot on which the ADU or JADU is located.
3. Considered in the application of any local ordinance, policy, or program to limit residential growth.
4. Required to correct a nonconforming zoning condition, as defined in subsection (C)(9) below. This does not prevent the City from enforcing compliance with applicable building standards in accordance with Health and Safety Code Section 17980.12.

C. Definitions. As used in this section, terms are defined as follows:

1. "Accessory dwelling unit" or "ADU" means an attached or a detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence. An accessory dwelling unit also includes the following:
  - a. An efficiency unit, as defined by Section 17958.1 of the California Health and Safety Code; and
  - b. A manufactured home, as defined by Section 18007 of the California Health and Safety Code.
2. "Accessory structure" means a structure that is accessory and incidental to a dwelling located on the same lot.
3. "Attached accessory dwelling unit" means an attached ADU that shares at least one wall with the primary dwelling.
4. "Complete independent living facilities" means permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family or multifamily dwelling is or will be situated.

## EXHIBIT A

5. “Detached accessory dwelling unit” means a detached ADU that does not share any wall with the primary dwelling.
6. “Efficiency kitchen” means a kitchen that includes each of the following:
  - a. A cooking facility with appliances.
  - b. A food preparation counter and storage cabinets that are of a reasonable size in relation to the ADU.
7. “Junior accessory dwelling unit” or “JADU” means a residential unit that satisfies all of the following:
  - a. It is no more than 500 square feet in size.
  - b. It is contained entirely within an existing or proposed single-family residence. An enclosed use within the residence, such as an attached garage, is considered to be a part of and contained within the single-family residence.
  - c. It includes its own separate sanitation facilities or shares sanitation facilities with the existing or proposed single-family residence.
  - d. Contains its own separate bathroom or, if it does not include a separate bathroom, contains an interior entrance to the main living area of the existing or proposed single-family residence.
  - e. Contains an exterior entrance that is separate from the main entrance to the proposed or existing single-family residence,
  - f. It includes an efficiency kitchen, as defined in subsection (C)(6) above.
8. “Living area” means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.
9. “Nonconforming zoning condition” means a physical improvement on a property that does not conform with current zoning standards.
10. “Passageway” means a pathway that is unobstructed clear to the sky and extends from a street to one entrance of the ADU or JADU.
11. “Proposed dwelling” means a dwelling that is the subject of a permit application and that meets the requirements for permitting.
12. “Public transit” means a location, including, but not limited to, a bus stop or train station, where the public may access buses, trains, subways, and other forms of

## EXHIBIT A

transportation that charge set fares, run on fixed routes, and are available to the public.

13. "Tandem parking" means that two or more automobiles are parked on a driveway or in any other location on a lot, lined up behind one another.

D. General Provisions. The following requirements apply to all ADUs and JADUs that are approved under subsections (F) and (G) below.

1. Zoning.

a. An ADU or JADU subject only to the limited requirements in subsection (F) below may be created on a lot in a residential or mixed-use zone.

b. An ADU or JADU subject to the requirements in subsection (G) below may be created on a lot that is zoned to allow single-family dwelling residential use or multifamily dwelling residential use.

2. Fire Sprinklers. Fire sprinklers are required in an ADU if sprinklers are required in the primary residence. The construction of an ADU does not trigger a requirement for fire sprinklers to be installed in the existing primary dwelling.

3. Rental Term. No ADU or JADU may be rented for a term that is shorter than 30 days.

4. No Separate Conveyance. An ADU or JADU may be rented, but, except as otherwise provided in Government Code Section 65852.26, no ADU or JADU may be sold or otherwise conveyed separately from the lot and the primary dwelling (in the case of a single-family lot) or from the lot and all of the dwellings (in the case of a multifamily lot).

5. Building and Safety.

a. Subject to subsection (D)(5)(b) below, all ADUs and JADUs must comply with all local building code requirements.

b. Construction of an ADU does not constitute a Group R occupancy change under the local building code, as described in Section 310 of the California Building Code, unless the building official or Code Compliance officer makes a written finding based on substantial evidence in the record that the construction of the ADU could have a specific, adverse impact on public health and safety. Nothing in this subsection (D)(5)(b) prevents the City from changing the occupancy code of a space that was uninhabitable space or that was only permitted for nonresidential use and was subsequently converted for residential use in accordance with this section.

**EXHIBIT A**

6. Owner Occupancy.

a. An ADU that is permitted before January 1, 2025, is not subject to any owner-occupancy requirement.

b. Unless applicable law requires otherwise, all ADUs that are permitted on or after January 1, 2025 are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property as the person’s legal domicile and permanent residence.

c. As required by state law, all JADUs are subject to an owner-occupancy requirement. A natural person with legal or equitable title to the property must reside on the property, in either the primary dwelling or JADU, as the person’s legal domicile and permanent residence. However, the owner-occupancy requirement of this paragraph does not apply if the property is entirely owned by another governmental agency, land trust, or housing organization. As required by Government Code Section 65852.22(a)(3), a deed restriction meeting the requirements of Government Code Section 65852.22(a)(3) must be recorded and filed.

7. Height.

a. Except as otherwise provided by subsections (D)(7)(b) and (D)(7)(c) below, a detached ADU created on a lot with an existing or proposed single family or multifamily dwelling unit may not exceed 16 feet in height.

b. A detached ADU may be up to 18 feet in height if it is created on a lot with an existing or proposed single family or multifamily dwelling unit that is located within one-half mile walking distance of a major transit stop or a high quality transit corridor, as those terms are defined in Section 21155 of the Public Resources Code, and the ADU may be up to two additional feet in height (for a maximum of 20 feet) if necessary to accommodate a roof pitch on the ADU that is aligned with the roof pitch of the primary dwelling unit.

c. A detached ADU created on a lot with an existing or proposed multifamily dwelling that has more than one story above grade may not exceed 18 feet in height

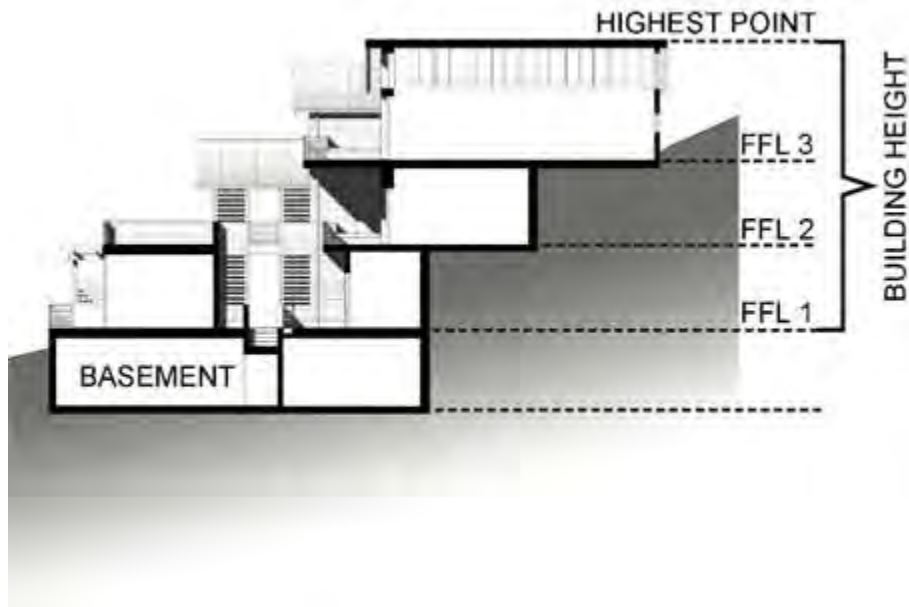
d. An attached ADU may not exceed the maximum height limit for the applicable zone, as provided in the table below.

<b>Residential District</b>	<b>HL</b>	<b>R-1</b>	<b>R-1A</b>	<b>R-2</b>	<b>R-7</b>	<b>R-14</b>	<b>R-22</b>	<b>R-30</b>
Maximum Height	35 feet (two stories)	35 feet (two stories)	35 feet (two stories)	35 feet (two stories)	35 feet (three stories)	45 feet (four stories)	55 feet (five stories)	55 feet (five stories)



## EXHIBIT A

e. For purposes of this subsection (D)(7), height means the vertical distance, excluding foundations or understructures or basements, between the elevation of the finished floor level and the peak of the structure. For purposes of this subsection (D)(7), “finished floor level” means the uppermost surface of a floor without any applied finishes, typically the screed finish of a concrete slab or foundation. Multiple finished floor levels may exist in a building or complex of buildings on a site depending on topographical conditions, however the height calculation shall be based on the maximum length between a finished floor level of a structure and the highest point of that structure (see diagram below).



### E. Action on Building Permit Application.

1. Applications to create an ADU or JADU in accordance with this section will be considered and approved ministerially, without discretionary review or a hearing.
2. The City must approve or deny an application to create an ADU or JADU within 60 days from the date that the City receives a complete application. If the City has not approved or denied the completed application within 60 days, the application is deemed approved unless either:
  - a. The applicant requests a delay, in which case the 60-day time period is tolled for the period of the requested delay, or
  - b. When an application to create an ADU or JADU is submitted with a permit application to create a new single-family or multifamily dwelling on the lot, the City may delay acting on the permit application for the ADU or JADU until the City acts on the permit application to create the new single-family or multifamily dwelling, but the application to create the ADU or JADU will still be considered ministerially without discretionary review or a hearing.

## EXHIBIT A

3. If the City denies an application to create an ADU or JADU, the City must provide the applicant with comments that include, among other things, a list of all the defective or deficient items and a description of how the application may be remedied by the applicant. Notice of the denial and corresponding comments must be provided to the applicant within the 60-day time period established by subsection (E)(2) above.

4. A demolition permit for a detached garage that is to be replaced with an ADU is reviewed with the application for the ADU and issued at the same time.

### F. ADUs and JADUs Subject to Limited Requirements.

1. If an ADU or JADU complies with each of the general requirements in subsection D above, it is allowed with only a building permit in the following scenarios:

a. Converted on Lot with Single-Family Residence. One ADU as described in this subsection (F)(1)(a) and one JADU on a lot with a proposed or existing single-family residence on it, where the ADU or JADU:

i. Is either: within the space of a proposed single-family residence; within the existing space of an existing single-family residence; or (in the case of an ADU only) within the existing space of an accessory structure, plus up to 150 additional square feet if the expansion is limited to accommodating ingress and egress.

ii. Has exterior access that is independent of that for the single-family residence.

iii. Has side and rear setbacks sufficient for fire and safety, as dictated by applicable building and fire codes.

iv. The JADU complies with the requirements of Government Code Section 65852.22, including, but not limited to, recording a deed restriction in accordance with subsection (a)(3) thereof.

b. Limited Detached or Attached on Lot with Single-Family Residence. One detached or attached, new-construction ADU on a lot with a proposed or existing single-family residence (in addition to any JADU that might otherwise be established on the lot under subsection (F)(1)(a) above), if the ADU satisfies the following limitations:

i. The side- and rear-yard setbacks are at least four feet.

ii. The total floor area is 800 square feet or smaller.

**EXHIBIT A**

iii. The peak height does not exceed the applicable height limit provided in subsection (D)(7) above.

c. **Converted on Multifamily Lot.** One or more ADUs within portions of existing multifamily dwelling structures that are not used as livable space, including, but not limited to, storage rooms, boiler rooms, passageways, attics, basements, or garages, if each converted ADU complies with state building standards for dwellings. Under this subsection (F)(1)(c), at least one converted ADU is allowed within an existing multifamily dwelling, and up to 25% of the existing multifamily dwelling units may each have a converted ADU under this paragraph.

d. **Limited Detached on Multifamily Lot.** No more than two detached ADUs on a lot that has an existing or proposed multifamily dwelling if each detached ADU satisfies the following limitations:

i. The side- and rear-yard setbacks are at least four feet. If the existing multifamily dwelling has a rear or side yard setback of less than four feet, the City will not require any modification to the multifamily dwelling as a condition of approving the ADU.

ii. The peak height does not exceed the applicable height limit provided in subsection (D)(7) above.

**G. ADUs Subject to Additional Objective Requirements.** A proposed ADU that does not conform to the standards set forth in subsection (F) is allowed with only a building permit if it complies with all of the objective standards set forth below.

1. **Maximum Size.**

a. The maximum size of a detached or attached ADU subject to this subsection (G) is 1,200 square feet.

b. Application of other development standards in this subsection (G), such as lot coverage or open space, might further limit the size of the ADU, but no application of lot coverage, front setback, or open-space requirements may require the ADU to be less than 800 square feet.

2. **Setbacks.**

a. An ADU that is subject to this subsection (G) must conform to the applicable front yard setback as provided in the table below, subject to subsection (G)(1)(b) above.

<b>Residential District</b>	<b>HL</b>	<b>R-1</b>	<b>R-1A</b>	<b>R-2</b>	<b>R-7</b>	<b>R-14</b>	<b>R-22</b>	<b>R-30</b>
Front Setbacks (in feet)	30	20	20	20	20	10	10	10

**EXHIBIT A**

b. An ADU that is subject to this subsection (G) must conform to four-foot side- and rear-yard setbacks.

c. No setback is required for an ADU that is subject to this subsection (G) if the ADU is constructed in the same location and to the same dimensions as an existing structure.

3. Lot Coverage. No ADU subject to this subsection (G) may cause the total lot coverage of the lot to exceed the maximum for the applicable zone, as shown in the table below, subject to subsection (G)(1)(b) above.

<b>Residential District</b>	<b>HL</b>	<b>R-1</b>	<b>R-1A</b>	<b>R-2</b>	<b>R-7</b>	<b>R-14</b>	<b>R-22</b>	<b>R-30</b>
Maximum Lot Coverage	25%	30%	35%	40%	55%	60%	70%	75%

4. Minimum Private Open Space. No ADU subject to this subsection (G) may cause the total percentage of open space of the lot to fall below the minimum for the applicable zone, as shown in the table below, subject to subsection (G)(1)(b) above.

	<b>HL</b>	<b>R-1</b>	<b>R-1A</b>	<b>R-2</b>	<b>R-7</b>	<b>R-14</b>	<b>R-22</b>	<b>R-30</b>
Private Open Space (in sq. feet per unit)	—	—	—	—	100	100	60	60

5. Passageway. No passageway, as defined by subsection (C)(10) above, is required for an ADU.

6. Parking.

a. Generally. One off-street parking space is required for each ADU. The parking space may be provided in setback areas or as tandem parking, as defined by subsection (C)(13) above.

b. Exceptions. No parking under subsection (G)(6)(a) is required in the following situations:

i. The ADU is located within one-half mile walking distance of public transit, as defined in subsection (C)(12) above.

ii. The ADU is located within an architecturally and historically significant historic district.

## EXHIBIT A

- iii. The ADU is part of the proposed or existing primary residence or an accessory structure under subsection (F)(1)(a) above.
  - iv. When on-street parking permits are required but not offered to the occupant of the ADU.
  - v. When there is an established car share vehicle stop located within one block of the ADU.
  - vi. When the permit application to create an ADU is submitted with an application to create a new single-family or new multifamily dwelling on the same lot, provided that the ADU or the lot satisfies any other criteria listed in subsections (G)(6)(b)(i) through (v) above.
- c. No Replacement. When a garage, carport, or covered parking structure is demolished in conjunction with the construction of an ADU or converted to an ADU, those off-street parking spaces are not required to be replaced.
- d. Parking Space Size. Each unclosed parking space shall be at least nine feet wide and 19 feet long. Each parking space that is provided in an enclosed garage shall be at least 12 feet wide and 20 feet long and have at least seven and a half feet vertical clearance.
7. Historical Protections. The architectural treatment of an ADU to be constructed on or within 600 feet of a lot that has an identified historical resource listed in the California Register of Historic Resources must comply with all applicable objective ministerial requirements imposed by the Secretary of Interior.

### H. Fees.

#### 1. Impact Fees.

- a. No impact fee is required for an ADU that is less than 750 square feet in size. For purposes of this subsection (H), "impact fee" means a "fee" under the Mitigation Fee Act (Gov. Code Section 66000(b)) and a fee under the Quimby Act (Gov. Code Section 66477). "Impact fee" here does not include any connection fee or capacity charge for water or sewer service.
- b. Any impact fee that is required for an ADU that is 750 square feet or larger in size must be charged proportionately in relation to the square footage of the primary dwelling unit. (E.g., the floor area of the ADU, divided by the floor area of the primary dwelling, times the typical fee amount charged for a new dwelling.)
- c. All applicable development impact fees for an ADU proposed to be constructed on a lot with a proposed or existing single family residence shall be

## EXHIBIT A

waived for a five-year trial period, commencing on September 27, 2019, and ending on September 27, 2024.

### I. Nonconforming Zoning Code Conditions, Building Code Violations, and Unpermitted Structures.

1. Generally. The City will not deny an ADU or JADU application due to a nonconforming zoning condition, building code violation, or unpermitted structure on the lot that does not present a threat to the public health and safety and that is not affected by the construction of the ADU or JADU.

#### 2. Unpermitted ADUs Constructed Before 2018.

a. Permit to Legalize. As required by state law, the City may not deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if denial is based on either of the following grounds:

i. The ADU violates applicable building standards, or

ii. The ADU does not comply with the state ADU law (Government Code Section 65852.2) or this ADU ordinance (Santee Municipal Code Section 13.10.045).

b. Exceptions:

i. Notwithstanding subsection (I)(2)(a) above, the City may deny a permit to legalize an existing but unpermitted ADU that was constructed before January 1, 2018, if the City makes a finding that correcting a violation is necessary to protect the health and safety of the public or of occupants of the structure.

ii. Subsection (I)(2)(a) above does not apply to a building that is deemed to be substandard in accordance with California Health and Safety Code Section 17920.3.

**MEETING DATE** January 11, 2023

**ITEM TITLE** RESOLUTION ADOPTING LEGISLATIVE POLICY MEMORANDUM 2023-01 FOR THE DISPLAY OF CITY BANNERS AT SPECIFIED LOCATIONS WITHIN THE CITY OF SANTEE; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

**DIRECTOR/DEPARTMENT** Marlene Best, City Manager

**SUMMARY**

For years, the City has displayed banners at various locations to advertise special events, recreation programs, and other sentiments of the City. These banners are intended to promote events, activities, and programs of civic importance, longstanding partnerships and history, and community value. They are not intended to serve as a forum for free expression by the public.

With guidance from the City Attorney’s Office, a policy is recommended to formally establish guidelines for the display of these banners at specified locations within the City. The proposed Legislative Policy Memorandum (LPM) provides guidance on authorization, content, design, approvals, standards, and specifications for banners. The City Manager or designee would be able to authorize- the City’s display of banners that: (1) promote City events, activities, or programs; or that (2) promote events, activities, or programs hosted by non-profit organizations or other government entities that have longstanding ties to the City when those events or programs (a) take place within the City or largely benefit City residents, and (b) reflect a matter of civic importance or community value.

The locations covered under this LPM include the banners over Mission Gorge Road; at the street corner of Magnolia Avenue and Prospect Avenue; at the street corner of Mast Boulevard and West Hills Parkway; at the Cuyamaca Foot Bridge; and on light poles along Mission Gorge Road, Town Center Parkway, Cuyamaca Street, Mast Boulevard, and City Parks.

**FINANCIAL STATEMENT** *HJ*  
There is no fiscal impact with this action.

**CITY ATTORNEY REVIEW**  N/A •  Completed

**RECOMMENDATION** *MSB*  
Adopt the resolution approving LPM 2023-01 for Display of City Banners at Specified Locations within the City of Santee.

**ATTACHMENT**

1. Resolution
2. LPM 2023-01 for Display of City Banners at Specified Locations (attached as Exhibit A to the Resolution)



RESOLUTION NO. \_\_\_\_\_

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA,  
ADOPTING LEGISLATIVE POLICY MEMORANDUM 2023-01 FOR THE DISPLAY OF  
CITY BANNERS AT SPECIFIED LOCATIONS WITHIN THE CITY OF SANTEE**

**WHEREAS**, the City has historically displayed banners at various locations throughout the City to advertise special events, recreation programs, and other sentiments of the City; and

**WHEREAS**, City banners are intended to promote events, activities, and programs of civic importance, longstanding partnerships and history, and community value; and

**WHEREAS**, City banners, and banner locations, are not intended to serve as a forum for free expression by the public; and

**WHEREAS**, the City desires to formally establish guidelines for the City's display of banners at specified locations and to provide guidance on authorization, content, design, approvals, standards, and specifications for banners; and

**WHEREAS**, under Legislative Policy Memorandum 2023-01, attached hereto as Exhibit A and incorporated herein by reference, the City Manager or designee would be able to authorize the City's display of banners that: (1) promote City events, activities, or programs; or that (2) promote events, activities, or programs hosted by non-profit organizations or other government entities that have longstanding ties to the City when those events or programs (a) take place within the City or largely benefit City residents, and (b) reflect a matter of civic importance or community value; and

**WHEREAS**, locations of banners include those banners over Mission Gorge Road; at the street corner of Magnolia Avenue and Prospect Avenue; at the street corner of Mast Boulevard and West Hills Parkway; at the Cuyamaca Foot Bridge; and on light poles along Mission Gorge Road, Town Center Parkway, Cuyamaca Street, Mast Boulevard, and City Parks; and

**WHEREAS**, with guidance provided under Legislative Policy Memorandum 2023-01, the City Manager or the City Manager's designee would be responsible for proper execution of the policy.

**NOW, THEREFORE BE IT RESOLVED** by the City Council of the City of Santee, California, that Legislative Policy Memorandum 2023-01 is hereby approved.



**RESOLUTION NO. \_\_\_\_\_**

**ADOPTED** by the City Council of Santee, California, at a Regular Meeting held this 11th day of January 2023, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**JOHN W. MINTO, MAYOR**

**ATTEST:**

\_\_\_\_\_  
**ANNETTE ORTIZ, CMC, CITY CLERK**

**Attachment:** Exhibit A - LEGISLATIVE POLICY MEMORANDUM 2023-01

**RESOLUTION NO. \_\_\_\_\_**

**EXHIBIT A**

LEGISLATIVE POLICY MEMORANDUM 2023-01

### LEGISLATIVE POLICY MEMORANDUM

**NUMBER:** LPM 2023-01

**DATE:** January 11, 2023

**REVIEWED BY:** Marlene Best, City Manager

**REVIEWED BY:** Shawn Hagerty, City Attorney

**SUBJECT:** Display of City Banners at Specified Locations within the City of Santee

### **PURPOSE**

To establish guidelines for the City of Santee's ("City") display of banners at the following locations within the City: (1) over Mission Gorge Road attached to existing cables; (2) at the street corner of Magnolia Avenue and Prospect Avenue attached to the existing City-owned metal and wooden frame; (3) at the street corner of Mast Boulevard and West Hills Parkway attached to the existing City-owned metal and wooden frame; (4) at the Cuyamaca Foot Bridge attached to the concrete portion of bridge; and (5) on Mission Gorge Road, Town Center Parkway, Cuyamaca Street, Mast Boulevard, and City Parks attached to existing pole brackets on light poles (together, "City Banner Locations"). The City Banner Locations are more particularly depicted in Attachment A to this Policy.

### **BACKGROUND**

The City has displayed banners at the City Banner Locations, many of which are accessible only to the City. Installation has been performed by contracted installers and/or City staff. Banners at City Banner Locations have been used to advertise City special events, recreation programs, and other sentiments of the City. The City Banner Locations are prominent and easily attributed as exclusively City locations used to express City sentiments due to past practices, height, equipment, and /or logistics involved in installation.

### **POLICY STATEMENT**

It is the Policy of the City that banners in City Banner Locations shall be created and exhibited in conformance with the requirements and procedures set forth in this Policy. City banners and City Banner Locations are not intended to serve as forums for free expression by the public. The banners set forth in this Policy may be displayed by the City at City Banner Locations as an expression of the City's official sentiments. Only the City itself may use City Banner Locations. The criteria for particular types of banners provided

for herein have been selected by City Council because they promote events, activities, and programs of civic importance, longstanding partnerships and history, and community value.

The City Manager or designee is responsible for proper execution of this Policy.

### **Authorized Banners and Banner Specifications:**

1. Authorized Banners. The City Manager or designee may, in their sole discretion, authorize the City to display the following types of banners at the City Banner Locations:
  - a. Banners promoting City events, activities, or programs.
  - b. Banners promoting events, activities, or programs hosted by non-profit organizations or government entities that have longstanding ties to the City, if the City Manager or designee determines that the following criteria are satisfied:
    - i. The event, activity, or program takes place within the City or largely benefits City residents; and
    - ii. The event, activity, or program reflects a matter of civic importance or community value.
2. Additional Banners. The City Council may authorize the regular display of additional types of banners to express the City's official sentiments by amending this policy, or may provide for a one-time display of an additional type of banner to express the City's official sentiments by formal action at a regular meeting.
3. Content, Design, and Approvals of Banners. Banners provided for by this Policy are the City's property and are an expression of the City's official sentiments, therefore the City retains ultimate authority over the content of banners contemplated by this Policy. The City may shape the language and images of the banners to convey the City's intended messaging for the event, activity, or program. The City Manager or designee shall have authority to shape the language and images of the banners on the City's behalf and to implement this Policy. Generally, City banners should contain: (1) the City's official logo or seal, (2) the name of the event, activity, or program being promoted, and (3) information ancillary to the promotion of the event, activity, or program.

If the host of a City Manager-authorized event, activity, or program that the City is promoting is an entity other than the City, the host of that event, activity, or program may submit a requested design to the City, but the City retains the absolute right to alter and shape the content of the banner and may deny a requested design outright. The City may procure and hang a banner on its own, at City's expense. The City

may also request a contribution from the host of a City Manager-authorized event, activity, or program to offset the City's costs in procuring and hanging such banner, or the City may allow the host of such event, activity, or program to provide a pre-authorized banner, provided such banner meets any design templates or criteria provided by City, to the City for the City's review and approval, ownership, and discretionary use. Any banner provided to the City in accordance with this Policy shall become the sole property of the City, and the City shall have the absolute right to make determinations about whether to repair or replace damaged banners.

The City Manager or designee shall review and approve each banner that is subject to this Policy prior to the City hanging any such banner. City may hang, refuse to hang, alter, or remove banners contemplated by this Policy at any time, in the City Manager or designee's sole discretion. The City may remove any banners or other materials affixed to City Banner Locations that were not affixed in conformance with this Policy, including any banners or other materials which were not affixed by the City.

4. Standards and Specifications. City banners subject to this Policy shall conform to the following standards and specifications.
  - a. Banners Over Mission Gorge Road
    - i. Banner Size – 6' high x 20' long
    - ii. Banner Requirements – Wind slits throughout and grommets spaced every two feet apart
    - iii. Banner Placement – Attached to existing cables over the street
  - b. Banners on City Street Corner Frames at (1) Mast Blvd & West Hills Pkwy and (2) Magnolia Ave & Prospect Ave
    - i. Banner Size – Not to exceed 6' high x 10' long
    - ii. Banner Requirements – Grommets spaced every two feet apart
    - iii. Banner Placement – Attached to existing City-owned metal and wooden frame
  - c. Banners on Cuyamaca Footbridge
    - i. Banner Size – Not to exceed 6' high x 10' long
    - ii. Banner Requirements – Wind slits throughout and grommets spaced every two feet apart
    - iii. Banner Placement – Attached to concrete footbridge

- d. Banners on Light Pole Brackets on Light Poles located at Mission Gorge Road, Town Center Parkway, Cuyamaca Street, Mast Boulevard, and in City Parks
  - i. Banner Size – Not to exceed 6’ high x 2’ long and 8’ high x 30” long
  - ii. Banner Requirements – 3” pocket/sleeve top and bottom for bracket pole
  - iii. Banner Placement – Attached to existing pole brackets on light poles
5. City Banner Locations shall be for the City’s exclusive use. Members of the public may post qualifying signs and other allowable materials elsewhere in the City in accordance with Chapter 13.32 of the Santee Municipal Code. In the event of any conflict between the provisions of this Policy and the provisions of Chapter 13.32 of the Santee Municipal Code, the provisions of Chapter 13.32 of the Santee Municipal Code shall prevail.

**ATTACHMENT A**

**DEPICTION OF CITY BANNER LOCATIONS**

**(1) attached to existing cables over Mission Gorge Road**

Mission Gorge Road

Banner Location



(2) attached to the existing City-owned metal and wooden frame located at the street corner of Magnolia Ave. and Prospect

(3) attached to the existing City-owned metal and wooden frame located at the street corner of Mast Boulevard and West Hills Parkway

**Street Corner  
Banner Locations**



**Mast Blvd & West Hills Pkwy**

**Magnolia Ave. & Prospect Ave.**





(4) attached to the concrete portion of the Cuyamaca Foot Bridge

**Cuyamaca Street Foot Bridge**

**Banner Location**



**(5) attached to existing pole brackets on light poles on Mission Gorge Road, Town Center Parkway, Cuyamaca Street, Mast Boulevard, and City Parks**

Light Pole  
Banner Location (Sample)



**MEETING DATE** January 11, 2023

**ITEM TITLE** RESOLUTION AUTHORIZING THE PURCHASE OF THREE LED SIGN (VIDEO DISPLAY) PANELS AND SOFTWARE FROM DAKTRONICS, INC., PER SOURCEWELL CONTRACT #050819-DAK; FINDING THE RESOLUTION CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") PER SECTION 15031 OF THE CEQA GUIDELINES.

**DIRECTOR/DEPARTMENT** Carl Schmitz, City Engineer 

**SUMMARY**

This item requests City Council authorization to purchase three replacement LED sign (video display) panels for the clock tower located within Trolley Square per Capital Improvement Project for the Clock Tower Video Display Upgrade Program, CIP 2022-50. The existing clock tower sign panels were installed in 2013 and have reached the end of their service life and are no longer functioning properly. The new signs will be consistent with the Memorandum of Understanding between the City and the San Diego Metropolitan Transit System (MTS), and will be able to display real time trolley departure information provided by MTS.

In accordance with Santee Municipal Code Section 3.24.130(A), the purchasing agent may join with other jurisdictions in cooperative purchasing plans or programs as determined by the purchasing agent to be in the City's best interest. On March 21, 2019, Sourcewell, a State of Minnesota local government unit and service cooperative, of which the City is a participating member, issued a competitive request for proposals for the procurement of scoreboards, digital displays, and video boards with related design build technology integration, installation, supplies, and services. Based on evaluation criteria such as pricing, selection and variety of products offered, customer support and ability to meet the contract requirements, Daktronics was awarded on July 8, 2019 Contract #050819-DAK for an initial four-year term through July 8, 2023. Staff has evaluated the pricing, products and support provided by the contract and the purchasing agent has determined that utilization of Contract #050819-DAK for the purchase of three replacement 6mm LED sign (video display) panels with software for programming the sign content to be in the City's best interest.

Staff recommends that City Council approve the purchase of three 6mm LED sign panels in the amount of \$121,418.56. The signs are expected to take six (6) to nine (9) months for manufacturing and delivery. Once delivered, staff anticipates using the City's purchasing quick quote process to secure a contractor to install the signs as the installation is expected to cost less than \$20,000.00.

**ENVIRONMENTAL REVIEW**

This action is categorically exempt from the California Environmental Quality Act ("CEQA"), pursuant to Section 15301(g), Existing Facilities, of the CEQA Guidelines.

**FINANCIAL STATEMENT** 

\$160,000.00 is budgeted in the adopted Fiscal Years 2022-2026 Capital Improvement Program for the Clock Tower Video Display Upgrade Project, CIP 2022-50.

**CITY ATTORNEY REVIEW**  N/A •  Completed



**RECOMMENDATIONS** *MSB*

Adopt Resolution authorizing the purchase of three replacement 6mm LED sign (video display) panels and software from Daktronics, Inc., per Sourcewell contract #050819-DAK, in the amount of \$121,418.56.

**ATTACHMENT**

Daktronics Quote, Resolution

# DAKTRONICS QUOTE # 807089-1-2

City of Santee  
 Accounts Payable  
 10601 N Magnolia Ave  
 Santee, CA USA 92071  
 Phone: 619-572-6923  
 Fax:  
 Email:

17/Nov/2022  
 Quote valid for: 90 days  
 Terms: Net 30 days from shipment with  
 Purchase Order  
 Subject to Credit Review  
 FCA: DESTINATION  
 Delivery: Call for Production Time

**Reference: Light Rail Station - Clock Tower Displays - Sourcewell Contract #050819-DAK**

Item No.	Model	Description	Qty	Price
1	GC6x-240x480-6-RGB-3V	<b>Custom Galaxy® Outdoor Electronic Message Center - GC6x Series - 6mm RGB</b> Matrix: 240 lines by 480 columns Line Spacing: 6mm LED Color: RGB- 281 Trillion Colors Face Configuration: 3V - three one sided displays - same content View Angle: 160 degrees Horizontal x 70 degrees Vertical Cabinet Dimensions: 5' 4" H X 9' 11" W X 0' 7" D (Approx. Dimensions) Max Power: 3170 watts/display Weight: Unpackaged 485 lbs per display; Packaged 580 lbs per display	1	\$111,233.00
	Daktronics Verizon Modem, 4G, Ethernet	Daktronics Verizon 4G Cellular Modem Only - Requires Daktronics Verizon Cellular Data Plan	1	
	System Startup	Final Commissioning of Equipment	1	
2	Taxes	7.75% - Subject to change	1	\$8,620.56
3	FREIGHT	Shipping to site via LTL (enclosed trailer). Usually unloads at a dock. Forklift or pallet jack may be required. Shipping via F.O.B Delivered	1	\$1,565.00
<b>Services</b>				
4	Warranty & Services		1	
	G0G0 - 10 Years Parts Only Extended Service for one GC6x-240x480-6-RGB-3V	10 Years of Daktronics Parts Coverage	1	
	Venus® Control Suite Enterprise 10-Year Subscription	Secure, web-based software that enables display management anytime, anywhere via internet connection. Eleventh year & beyond at \$360USD per year, per player	1	
	Venus® Control Suite Training Onboarding	Venus® self guided training videos. (English only.)	1	
	Venus® Control Suite - One-on-One Webinar	Customized Venus® training in a live, web-based, conference call format using the customer's phone & computer. (English only.)	1	



## DAKTRONICS QUOTE # 807089-1-2

Daktronics Verizon Lifetime  
4G Cellular Data Plan for  
VCS, 300K-600K Pixels

Daktronics Verizon Lifetime 4G Cellular Data Plan  
Per Modem, for Venus Control Suite on Displays  
300K-600K pixels. Excludes streaming data feeds  
and diagnostics. Dak Verizon to include RSS &  
GTFS feeds for the City of Santee Trolley Square

1

Total Price Including Applicable Tax:

**\$121,418.56**

Please reference listed sales literature: DD3512730 for Daktronics Verizon Modem, 4G, Ethernet

**Leasing Program**

If your purchase exceeds \$25,000, you may qualify for our leasing program allowing you more flexibility to spread out the cost of your Daktronics display over of a period up to five (5) years. Benefits of our leasing program include fixed rate financing, non-appropriation clause, no prepayment penalty, and customizable payment schedules. Plus, at the end of the lease, the equipment is yours to keep with no additional balloon payments.

Sample payment options as follows:

- \$50,000 in total equipment cost = \$11,285 per year
- \$100,000 in total equipment cost = \$22,568 per year
- \$250,000 in total equipment cost = \$56,420 per year

\*\*Payments based on 5 year/annual payment in advance structure. **Leasing is subject to credit approval and agreed upon documentation with Daktronics lending partner.** Contact your Daktronics representative for additional options and details.

**Exclusions:**

- |   |   |
|---|---|
| - <b>Electrical Installation</b>                          | - <b>Physical/Mechanical Installation</b> |
| - <b>Structure</b>  | - <b>Foundation</b>                       |
| - <b>Power</b>  | - <b>Hoist</b>                            |
| - <b>Engineering Certification</b>                        | - <b>Signal Conduit</b>                   |
| - <b>Labor to Pull Signal Cable</b>                       | - <b>Applicable Permits</b>               |
| - <b>Electrical Switch Gear or Distribution Equipment</b> | - <b>Front End Equipment</b>              |

Unless expressly stated otherwise in this Quote # 807089-1 Rev 2 or the attachments, if Daktronics performs installation of the Equipment, the price quoted does not include the following services pertaining to physical installations: digging of footings (including dirt removal), any materials fabrication, installation of steel cages, rebar, or bolt attachments, or pouring and finishing of concrete footings. Those service may be provided for an additional cost beyond the quoted price. Purchaser shall be fully responsible for any and all additional costs plus overhead in the event anything unexpected of any nature whatsoever is found while digging the footings including but are not limited to rock, water, utility lines, pipes or any other unforeseen circumstance. The Purchaser acknowledges and agrees that it is fully responsible for all site conditions.

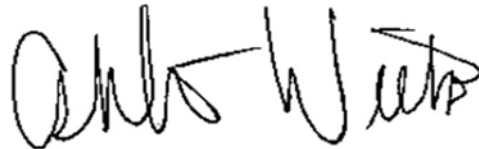
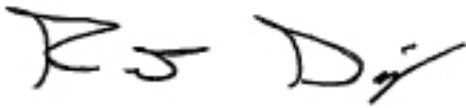
Prices and charges are subject to change by Daktronics at any time before the final agreement between the parties is effective. Ship Date will be determined after customer purchase order is received or agreement is signed or otherwise effective, shop drawings are approved (if required) and down payment is received (if required).

**Installation Responsibilities:**

If applicable please reference Attachment A for Installation Responsibilities.

**Ad/ID Copy Approval Process**

Customer shall provide digital artwork for advertising and identification panels, conforming to [Daktronics' graphic file standards](#), at the time of order. Daktronics will create a proof of provided artwork and require approval of that proof three weeks prior to the initial anticipated ship date. Advertising and identification panels not approved in time, will be shipped without copy in Daktronics' standard finish.



Roberto Diaz  
PHONE: 714-313-6349  
FAX: 605-697-4700  
EMAIL: Roberto.Diaz@daktronics.com

Ashlin Wiebe  
PHONE: 605-692-0200  
FAX:  
EMAIL: Ashlin.Wiebe@daktronics.com

**Terms And Conditions:**

- The Terms and Conditions which apply to this order available on request.
- SL-02374 Standard Warranty and Limitation of Seller's Liability ([www.daktronics.com/terms\\_conditions/SL-02374.pdf](http://www.daktronics.com/terms_conditions/SL-02374.pdf))
- SL-02375 Standard Terms and Conditions of Sale ([www.daktronics.com/terms\\_conditions/SL-02375.pdf](http://www.daktronics.com/terms_conditions/SL-02375.pdf))
- SL-07862 Software License Agreement ([www.daktronics.com/terms\\_conditions/SL-07862.pdf](http://www.daktronics.com/terms_conditions/SL-07862.pdf))
- Additional Links:
- Gold Scope of Services ([www.daktronics.com/TermsConditions/SL-05659](http://www.daktronics.com/TermsConditions/SL-05659))
- Wireless Service Addendum ([www.daktronics.com/TermsConditions/DD3956286](http://www.daktronics.com/TermsConditions/DD3956286))

**Acceptance:**

The parties acknowledge and agree that the agreement (the "Agreement") is comprised of the terms and conditions contained within this quote and any attachments thereto, along with the documents at the website addresses above. Purchaser hereby agrees to purchase the equipment as defined in the Agreement. Purchaser acknowledges having had the opportunity and means to review the Agreement. The Agreement represents the entire agreement of the parties and supersedes any previous understanding or agreement. The Undersigned has actual authority to execute this document and Daktronics is relying on such authority. Purchaser acknowledges and agrees to the above, as evidenced by its attestation below.

\_\_\_\_\_  
Customer Signature

\_\_\_\_\_  
Date



# PROJECT SITE INFORMATION – REQUIRED TO PLACE YOUR ORDER

This document is for order processing purposes only and is not intended to be part of the Agreement

**Daktronics Quote #** \_\_\_\_\_

**Purchase Order Information:**

\_\_\_\_\_ PO#

\_\_\_\_\_ PO Date

Purchaser (Bill To) hereby confirms that the equipment is to be delivered to (Ship To) and may be installed by Purchases or Daktronics, as indicated elsewhere herein, at the address (Installation Location) indicated below unless otherwise specified.

<b>SHIP TO:</b> (delivery location) Company: _____ Contact: _____ Street Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Email: (for shipping notification) _____ Additional Email: (for shipping notification) _____	<b>INSTALLATION LOCATION:</b> (end user) ID# _____ Company: _____ Contact: _____ Street Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Email: (for order acknowledgement) _____ Training Contact & Email: (if applicable) _____
---	--

<b>BILL TO:</b> (receive and pay invoices) ID# _____ Company: _____ Contact: _____ Street Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Email: _____	<b>***VENUS SOFTWARE INFORMATION***</b> This is a new Venus account (Daktronics will create and send the credentials)  Please add users and display to existing Venus account  Acct Name or Number: _____ Display Name: _____  <b>Primary Contact – Account Administrator</b> *Email: _____ Name: _____ Phone: _____  <b>Secondary Contact – Account Administrator</b> *Email: _____ Name: _____ Phone: _____
<b>***LOGO &amp; AD COPY APPROVAL***</b> (if applicable) Name: _____ Email: _____	

**\*\*Logos, Graphics, or Sponsor Advertisements\*\***  
[Vector files](#) must be submitted with your order documents, not to exceed 1 week of order placement. If artwork is no received, the panels will be painted the same as your scoreboard or display and shipped blank.





## ATTACHMENT A Installation Responsibilities Checklist: Outdoor

Responsible Party		Description
Daktronics	Customer	
	✓	1. Provide payment and performance Bond.
	✓	2. Secure necessary construction permits.
	✓	3. Removal of existing equipment.
	✓	4. Removal of existing structure (excluding footings).
	✓	5. Disposal of existing equipment.
	✓	6. Disposal of existing structure (excluding footings).
✓		7. Generate and issue standard product attachment drawings.
✓		8. Generate and issue standard product electrical and signal drawings.
	✓	9. Provide approval of all engineering drawings, electrical drawings, shop drawings, equipment locations, color renderings, and ad copy layouts.
	✓	10. Customer is responsible to ensure the existing structure/building is adequate, including any necessary modifications, for the installation of the Equipment, including but not limited to (i) obtaining certified engineer drawings to the extent required by law and (ii) providing Daktronics, upon reasonable request, documentation relating to the existing structure and modifications necessary for Daktronics perform its work.
	✓	11. Engineering design and certification for structure and footing design.
	✓	12. Engineering design and certification for Equipment attachment design.
	✓	13. Unobstructed access to equipment and control room installation site until display is 100%.
	✓	14. Mark location of the new Equipment as delineated in the quote.
	✓	15. Locate public underground utilities.
	✓	16. Locate private underground utilities.
	✓	17. Landscaping to include all.
	✓	18. Provide camera-ready artwork for ad panels, and logos at time of order.
	✓	19. Provide all landscape protection, track, sidewalk, path, site restoration, and/or sprinkler system repair work.
	✓	20. Site clean-up after Daktronics work.
✓		21. Crating and shipping of all equipment to facility via common or independent carrier.
	✓	22. Accept, lift, unload, and inspect all message center equipment and control equipment from carrier.
	✓	23. Provide storage of message center equipment and control equipment in a safe, dry, and secure location until installation.
✓		24. Provide Equipment attachment hardware.
	✓	25. Install Equipment attachment hardware.

# DAKTRONICS QUOTE # 807089-1-2

	✓	26. Excavation of direct imbed drilled pier foundation(s) including spoils removal. Pouring and finishing of concrete for footings. (Note: Daktronics assumes class 3 soil per the International Building Code to determine footing / structure estimates included in this quotation. In the event rock, water, or if soil conditions other than class 3 soil are encountered (including soft soils, unstable or collapsing soils, expansive soils, organic materials, or anything unexpected condition is encountered, the Customer will be responsible for any additional costs, plus overhead and profit of 20%).
	✓	27. Steel fabrication and install support structure - excluding catwalk(s), ladder-way(s).
	✓	28. Prime and paint main support structure.
	✓	29. Prime and paint substructure
	✓	30. Lift and mount Equipment listed in this quotation.
	✓	31. Provide and install all required floor and wall boxes as per provided system electrical and signal drawings – provide written verification that all deck/wall boxes are installed and all cable has been pulled prior to installers' arrival.
	✓	32. Provide primary power feed up to and including demarcation point in the form of transformer and electrical disconnect with over current protection per all applicable electrical codes and regulations. Note: Maximum voltage of 120 volts line to neutral for all display systems.
	✓	33. Provide secondary power conduits, distribution panel, power cable and power hook-up from the demarcation point to all Daktronics supplied load centers/termination panel at/within the Equipment.
	✓	34. Provide and install signal cable conduit, with pull string, from control location to each equipment location. Conduit to be located five (5) feet off grade on the structure, as delineated in the electrical and signal drawings.
	✓	35. Provide and install signal cable conduit, with pull string, from five (5) feet off grade on structure to Equipment signal termination points, as delineated in the electrical and signal drawings.
	✓	36. Communication responsibility (DSL line, Network, Static IP address and associated monthly fees) as necessary for this system. Supply static IP address five (5) days prior to installation.
	✓	37. Installation of temperature sensor.
✓		38. Furnish signal cable as delineated on the quote.
	✓	39. Labor to pull all new signal cable (and remove existing cable, if required).
	✓	40. Interface cabling with audio system including conduit, cabling, and installation of cabling.
✓		41. Terminate signal cable at control location and message center Equipment.
	✓	42. Provide a climate controlled and secure control room for all control systems. Normal operating temperature should be between 40° to 90° Fahrenheit (4° to 32° Celsius). Normal operating humidity should be less than 80% non-condensing. Storage temperature should be between -10° to 105° Fahrenheit (-23° to 41° Celsius). Storage humidity should be less than 95% non-condensing. Keep computers and monitors out of direct sunlight during storage. Allow control equipment taken out of storage to return to operating temperature range prior to turning it on (24 hours recommended).
	✓	43. Provide high speed internet connection to control room equipment.
	✓	44. Required power outlets on clean dedicated circuit(s) for all message center and control equipment.

# DAKTRONICS QUOTE # 807089-1-2

✓		45. Unpack, set-up, hook-up, and testing of control system.
✓		46. Set-up and testing of results/statistics/timing system including portable cabling and Daktronics software installation.
	✓	47. Provide personnel for maintenance and operator training.
✓		48. Perform maintenance training during installation.
✓		49. Perform operator training.
✓		50. Perform final systems testing and commissioning.
	✓	51. Final acceptance, per DF-1252.

NOTE: All change order work performed by Daktronics or Daktronics subcontractor will be performed at cost plus 20% overhead and profit.

RESOLUTION NO. \_\_\_\_\_

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE,  
CALIFORNIA, AUTHORIZING THE PURCHASE OF THREE LED SIGN  
(VIDEO DISPLAY) PANELS AND SOFTWARE FROM DAKTRONICS, INC.  
PER SOURCEWELL CONTRACT #050819-DAK; FINDING THE RESOLUTION  
CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY  
ACT (“CEQA”) PER SECTION 15301 OF THE CEQA GUIDELINES.**

**WHEREAS**, the existing Clock Tower sign panels located within Trolley Square were installed in 2013 and have reached the end of their service life as they are no longer functioning properly; and

**WHEREAS**, \$160,000.00 is budgeted in the adopted Fiscal Years 2022-2026 Capital Improvement Program for the Clock Tower Video Display Upgrade Project, CIP 2022-50; and

**WHEREAS**, the three LED sign (video display) panels and software provided by Daktronics, Inc. are consistent with the Memorandum of Understanding between the City and the San Diego Metropolitan Transit System (MTS), and will be able to display real time trolley departure information; and

**WHEREAS**, Santee Municipal Code Section 3.24.130(A) authorizes the City to join with other jurisdictions in cooperative purchasing plans or programs as determined by the purchasing agent to be in the City’s best interest; and

**WHEREAS**, on March 21, 2019, Sourcewell, a State of Minnesota local government unit and service cooperative, of which the City is a participating member, issued a competitive request for proposals for the procurement of scoreboards, digital displays, and video boards with related design build technology integration, installation, supplies, and services. On July 8, 2019 Daktronics was awarded Contract #050819-DAK for an initial four-year term through July 8, 2023; and

**WHEREAS**, upon review of Contract #050819-DAK and the quotation provided by Daktronics, Inc., the purchasing agent finds the use of this contract to be in the City’s best interest for the purchase of three replacement 6mm LED sign (video display) panels and software for programming the sign content in the amount of \$121,418.56; and

**WHEREAS**, the project is categorically exempt from environmental review pursuant to Section 15301(g) of the Guidelines to the California Environmental Quality Act; and

**WHEREAS**, the City Council desires to authorize the purchase of three replacement 6mm LED sign (video display) panels and software from Daktronics, Inc., per Sourcewell contract #050819-DAK, in the amount of \$121,418.56.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

**RESOLUTION NO. \_\_\_\_\_**

**SECTION 1:** The Recitals provided above are true and correct and are hereby incorporated into this Resolution.

**SECTION 2:** The City Council of the City of Santee hereby authorizes the purchase of three replacement 6mm LED sign (video display) panels and software for programming the sign content of the Clock Tower located at Trolley Square from Daktronics, Inc. utilizing the Sourcewell Contract #050819-DAK in the amount of \$121,418.56.

**SECTION 3:** This action is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15301(g), Existing Facilities, of the CEQA Guidelines.

**SECTION 4:** If any provision of this Resolution or the application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions of applications of the Resolution which can be given effect without the invalid provision or application, and to this end the provisions of this Resolution are severable. The City Council hereby declares that it would have adopted this Resolution irrespective of the invalidity of any particular portion thereof.

**SECTION 5:** This Resolution shall take effect immediately upon its passage.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 11<sup>th</sup> day of January, 2023, by the following roll call vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**JOHN W. MINTO, MAYOR**

**ATTEST:**

\_\_\_\_\_  
**ANNETTE ORTIZ, CMC, CITY CLERK**

**MEETING DATE** January 11<sup>th</sup>, 2023

**ITEM TITLE** RESOLUTION APPROVING AN AMENDED SALARY SCHEDULE FOR HOURLY, GENERAL AND MANAGEMENT EMPLOYEES; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

**DIRECTOR/DEPARTMENT** Matt Rankin, Human Resources *MR*

**SUMMARY**

This item requests that the City Council adopt the attached Resolution approving an amended salary schedule reflecting the addition of one Senior Building Inspector position, one Building Development Technician II position and one part-time, benefited Building Development Technician I position as approved by the City Council on June 22, 2022 with the fiscal year 2022-23 operating budget update and amendments.

If adopted, the effective date of the amended salary schedule will be January 12<sup>th</sup>, 2023.

**FINANCIAL STATEMENT** *AS*

The cost of the additional 2.5 positions was included in the Fiscal Year 2022-23 Adopted Operating Budget.

**CITY ATTORNEY REVIEW**  N/A •  Completed

**RECOMMENDATION** *MSB*

Adopt the attached Resolution approving an amended salary schedule for hourly, general and management employees.

**ATTACHMENT**

Resolution (Exhibit A – Salary Schedule)

**RESOLUTION NO. -2023**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA,  
APPROVING AN AMENDED SALARY SCHEDULE FOR HOURLY, GENERAL AND  
MANAGEMENT EMPLOYEES**

**WHEREAS**, on June 22, 2022 the City Council authorized the addition of a Building Development Tech II position and a Part-Time Building Development Tech I position as part of the fiscal year 2022-23 operating budget amendments with the adoption of Resolution No. 087-2022; and

**WHEREAS**, California Code of Regulations, Title 2, Section 570.5 requires that, for purposes of determining a retiring employee's pension allowance, the pay rate be limited to the amount listed on a pay schedule that meets certain requirements and is approved by the governing body in accordance with the requirements of the applicable public meeting laws; and

**WHEREAS**, the City Council desires to amend the Hourly, General and Management Salary Schedule, effective January 12, 2023, to reflect the recently approved Senior Building Inspector position, Building Development Technician II position and the part-time Building Development Technician I position, as reflected in the attached Exhibit "A".

**NOW, THEREFORE BE IT RESOLVED** that the City Council of the City of Santee, California, does hereby find, determine and declare that the Hourly, General and Management Salary Schedule as provided in Exhibit "A" is approved and effective on January 12, 2023.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 11<sup>th</sup> day of January 2023, by the following roll call vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**APPROVED:**

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**JOHN W. MINTO, MAYOR**

**ATTEST:**

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**ANNETTE ORTIZ, CMC, CITY CLERK**

Attachment: Exhibit A (Salary Schedule)

CITY OF SANTEE  
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE  
 EFFECTIVE JULY 07, 2022

<u>Classification</u>		A	B	C	D	E
<b>Fire Captain / PM</b> <b>Base salary</b>	Hourly	34.35	36.07	37.87	39.76	41.75
	Annual	100,027.62	105,030.12	110,281.30	115,794.56	121,584.96
 <b><i>Educational Incentive</i></b>						
Fire Captain / PM 31-45 units = 1.5% over base	Hourly	34.87	36.61	38.44	40.36	42.38
	Annual	101,527.82	106,605.59	111,935.62	117,531.64	123,408.77
Fire Captain / PM 46 units and over = 3.0% over base	Hourly	35.38	37.15	39.01	40.96	43.01
	Annual	103,028.34	108,181.03	113,589.93	119,268.09	125,232.24
Fire Captain / PM A.A. Degree = 4.5% over base	Hourly	35.90	37.69	39.58	41.55	43.63
	Annual	104,528.86	109,756.17	115,243.89	121,005.17	127,056.01
Fire Captain / PM Bachelor Degree = 6% over base	Hourly	36.41	38.23	40.14	42.15	44.26
	Annual	106,029.05	111,331.61	116,898.21	122,742.28	128,880.16



CITY OF SANTEE  
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE  
 EFFECTIVE JULY 07, 2022

<u>Classification</u>		A	B	C	D	E
<b>Fire Captain</b> <b>Base salary</b>	Hourly	32.87	34.51	36.24	38.05	39.95
	Annual	95,720.07	100,506.97	105,532.05	110,808.09	116,348.51
 <b><i>Educational Incentive</i></b>						
Fire Captain 31-45 units = 1.5% over base	Hourly	33.36	35.03	36.78	38.62	40.55
	Annual	97,155.82	102,014.36	107,115.36	112,470.25	118,093.78
Fire Captain 46 units and over = 3.0% over base	Hourly	33.86	35.55	37.33	39.19	41.15
	Annual	98,591.89	103,522.07	108,698.01	114,132.09	119,839.05
Fire Captain A.A. Degree = 4.5% over base	Hourly	34.35	36.07	37.87	39.76	41.75
	Annual	100,027.62	105,029.80	110,280.99	115,794.56	121,584.32
Fire Captain Bachelor Degree = 6% over base	Hourly	34.84	36.59	38.41	40.34	42.35
	Annual	101,463.37	106,537.21	111,864.28	117,456.42	123,329.57

CITY OF SANTEE  
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE  
 EFFECTIVE JULY 07, 2022

<u>Classification</u>		A	B	C	D	E
<b>Fire Engineer/PM</b> <b>Base salary</b>	Hourly	29.47	30.91	32.43	34.09	35.70
	Annual	85,809.85	90,021.24	94,442.37	99,260.43	103,961.77
 <b><i>Educational Incentive</i></b>						
Fire Engineer / PM 31-45 units = 1.5% over base	Hourly	29.91	31.38	32.92	34.60	36.24
	Annual	87,097.23	91,371.40	95,858.68	100,749.41	105,521.06
Fire Engineer / PM 46 units and over = 3.0% over base	Hourly	30.35	31.84	33.41	35.11	36.77
	Annual	88,384.30	92,721.93	97,275.61	102,238.00	107,080.42
Fire Engineer / PM A.A. Degree = 4.5% over base	Hourly	30.79	32.30	33.89	35.62	37.31
	Annual	89,671.34	94,072.11	98,692.21	103,726.96	108,640.06
Fire Engineer / PM Bachelor Degree = 6% over base	Hourly	31.24	32.77	34.38	36.13	37.84
	Annual	90,958.72	95,422.63	100,108.81	105,215.93	110,199.40

CITY OF SANTEE  
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE  
 EFFECTIVE JULY 07, 2022

<u>Classification</u>		A	B	C	D	E
<b>Fire Engineer</b> <b>Base salary</b>	Hourly	28.06	29.44	30.88	32.46	33.99
	Annual	81,706.23	85,715.38	89,925.73	94,513.40	98,990.40
 <b><i>Educational Incentive</i></b>						
Fire Engineer 31-45 units = 1.5% over base	Hourly	28.48	29.88	31.34	32.94	34.50
	Annual	82,931.93	87,001.25	91,274.77	95,931.12	100,475.20
Fire Engineer 46 units and over = 3.0% over base	Hourly	28.90	30.32	31.81	33.43	35.01
	Annual	84,157.60	88,286.83	92,623.49	97,348.86	101,960.38
Fire Engineer A.A. Degree = 4.5% over base	Hourly	29.32	30.76	32.27	33.92	35.52
	Annual	85,382.96	89,572.70	93,972.50	98,766.60	103,445.19
Fire Engineer Bachelor Degree = 6% over base	Hourly	29.74	31.20	32.73	34.40	36.03
	Annual	86,608.95	90,858.25	95,321.21	100,184.35	104,930.00

CITY OF SANTEE  
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE  
 EFFECTIVE JULY 07, 2022

Classification		A	B	C	D	E	F	G	H
<b>Firefighter Paramedic</b>	Hourly	25.25	26.29	27.37	28.50	30.18	31.40	32.67	33.99
<b>Base salary</b>	Annual	73,538.44	76,559.44	79,706.09	82,981.65	87,892.90	91,443.60	95,138.00	98,990.40

***Educational Incentive (after completing 3 1/2 years of employment)***

G	H
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Firefighter Paramedic		33.16	34.50
31-45 units = 1.5% over base		96,564.89	100,475.20
 Firefighter Paramedic		 33.65	 35.01
46 units and over = 3.0% over base		97,991.81	101,960.38
 Firefighter Paramedic		 34.14	 35.52
A.A. Degree = 4.5% over base		99,419.37	103,445.19
 Firefighter Paramedic		 34.63	 36.03
Bachelor Degree = 6% over base		100,846.27	104,930.00

CITY OF SANTEE  
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE  
 EFFECTIVE JULY 07, 2022

<u>Classification</u>		A	B	C	D	E	F	G	H
<b>Firefighter</b>	Hourly	21.43	22.50	23.52	24.81	26.05	27.35	28.72	30.15
<b>Base salary</b>	Annual	62,398.04	65,516.54	68,501.89	72,232.91	75,844.83	79,637.40	83,618.38	87,800.28
<b>Educational Incentive (after completing 3 1/2 years of employment)</b>								<b>G</b>	<b>H</b>
Firefighter								29.15	30.60
31-45 units = 1.5% over base								84,872.84	89,117.25
Firefighter								29.58	31.06
46 units and over = 3.0% over base								86,127.01	90,434.21
Firefighter								30.01	31.51
A.A. Degree = 4.5% over base								87,381.45	91,751.51
Firefighter								30.44	31.96
Bachelor Degree = 6% over base								88,635.60	93,068.14

CITY OF SANTEE  
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE  
 EFFECTIVE JANUARY 12, 2023

Range	Classification		A	B	C	D	E
29	Account Clerk	Hourly	23.53	24.70	25.94	27.23	28.60
		Annual	48,932.36	51,379.05	53,948.06	56,645.69	59,477.76
35	Administrative Secretary	Hourly	27.28	28.65	30.08	31.58	33.16
		Annual	56,746.77	59,584.06	62,563.32	65,691.78	68,976.26
	Assistant City Clerk	Hourly		32.80	to	46.86	
		Annual		68,223.18	to	97,461.70	
	Assistant to the City Manager	Hourly		62.78	to	84.75	
		Annual		130,574.02	to	176,275.11	
50	Assistant Engineer	Hourly	39.51	41.49	43.56	45.74	48.03
		Annual	82,186.17	86,295.73	90,610.73	95,140.97	99,898.24
58	Associate Civil Engineer / Associate Traffic Engineer	Hourly	48.14	50.55	53.08	55.73	58.52
		Annual	100,135.74	105,142.97	110,400.42	115,920.27	121,716.54
49	Associate Planner	Hourly	38.55	40.48	42.50	44.63	46.86
		Annual	80,181.79	84,190.92	88,400.54	92,820.87	97,461.70
28	Building Development Technician I	Hourly	22.95	24.10	25.30	26.57	27.90
		Annual	47,738.95	50,126.10	52,632.33	55,263.86	58,027.20
32	Building Development Technician II	Hourly	25.33	26.60	27.93	29.33	30.79
		Annual	52,694.82	55,329.28	58,095.90	61,000.57	64,050.84
	Building Official	Hourly		57.67	to	75.25	
		Annual		119,959.00	to	156,519.00	
	City Clerk	Hourly		48.03	to	67.26	
		Annual		99,907.68	to	139,895.38	
	City Engineer	Hourly		64.14	to	86.87	
		Annual		133,406.84	to	180,690.27	
	City Manager (Single Rate)	Hourly		116.63	to	116.63	
		Annual		242,562.81	to	242,562.81	

CITY OF SANTEE  
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE  
 EFFECTIVE JANUARY 12, 2023

Range	Classification		A	B	C	D	E
26	Code Compliance Assistant	Hourly	21.85	22.94	24.08	25.29	26.55
		Annual	45,438.51	47,710.51	50,096.01	52,600.93	55,230.80
44	Code Compliance Officer	Hourly	34.07	35.78	37.56	39.44	41.41
		Annual	70,869.10	74,412.35	78,133.26	82,039.64	86,141.65
46	Confidential Accountant	Hourly	35.80	37.59	39.47	41.44	43.51
		Annual	74,456.86	78,179.70	82,088.71	86,193.00	90,502.77
46	Confidential Payroll Specialist	Hourly	35.80	37.59	39.47	41.44	43.51
		Annual	74,456.86	78,179.70	82,088.71	86,193.00	90,502.77
46	Confidential Secretary to City Manager/Council	Hourly	35.80	37.59	39.47	41.44	43.51
		Annual	74,456.86	78,179.70	82,088.71	86,193.00	90,502.77
	Crossing Guards ^ (Single Rate)	Hourly			15.53		
	Deputy Fire Chief	Hourly		63.19	to	86.47	
		Annual		131,445.32	to	179,849.01	
35	Development Services Technician	Hourly	27.28	28.65	30.08	31.58	33.16
		Annual	56,746.77	59,584.06	62,563.32	65,691.78	68,976.26
	Director of Community Services	Hourly		68.79	to	91.72	
		Annual		143,085.00	to	190,787.63	
	Director of Development Services	Hourly		68.07	to	91.76	
		Annual		141,578.79	to	190,867.16	
	Director of Finance / City Treasurer	Hourly		71.92	to	96.76	
		Annual		149,585.02	to	201,268.81	
	Director of Fire & Life Safety (Fire Chief)	Hourly		81.67	to	106.61	
		Annual		169,882.83	to	221,746.68	

CITY OF SANTEE  
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE  
 EFFECTIVE JANUARY 12, 2023

Range	Classification		A	B	C	D	E
	Director of Human Resources	Hourly		67.16	to	90.67	
		Annual		139,699.80	to	188,594.96	
	Economic Development Manager	Hourly		42.29	to	57.10	
		Annual		87,972.65	to	118,763.86	
48	Engineering Inspector	Hourly	37.61	39.49	41.46	43.54	45.71
		Annual	78,226.16	82,137.46	86,244.06	90,556.41	95,084.36
39	Equipment Mechanic	Hourly	30.11	31.62	33.20	34.86	36.60
		Annual	62,637.92	65,769.94	69,058.38	72,511.36	76,136.71
35	Equipment Operator	Hourly	27.28	28.65	30.08	31.58	33.16
		Annual	56,746.77	59,584.06	62,563.32	65,691.78	68,976.26
38	Facilities Maintenance Supervisor	Hourly	29.38	30.85	32.39	34.01	35.71
		Annual	61,110.18	64,165.66	67,373.91	70,742.83	74,279.87
25	Facilities Maintenance Technician	Hourly	21.31	22.38	23.50	24.67	25.91
		Annual	44,330.15	46,546.53	48,874.13	51,317.56	53,883.31
35	Field Inspector	Hourly	27.28	28.65	30.08	31.58	33.16
		Annual	56,746.77	59,584.06	62,563.32	65,691.78	68,976.26
	Finance Manager	Hourly		53.10	to	71.69	
		Annual		110,449.87	to	149,107.40	
	Fire Battalion Chief (2920 hours)	Hourly		40.27	to	54.59	
		Annual		117,590.66	to	159,411.02	



CITY OF SANTEE  
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE  
 EFFECTIVE JANUARY 12, 2023

Range	Classification		A	B	C	D	E
44	Fire Inspector	Hourly	34.07	35.78	37.56	39.44	41.41
		Annual	70,869.10	74,412.35	78,133.26	82,039.64	86,141.65
	Fire Marshal	Hourly		53.10	to	71.69	
		Annual		110,449.87	to	149,107.40	
	Graduate Intern ^	Hourly		15.53	to	21.32	
38	Human Resources Technician	Hourly	29.38	30.85	32.39	34.01	35.71
		Annual	61,110.18	64,165.66	67,373.91	70,742.83	74,279.87
53	Information Technology Analyst	Hourly	42.55	44.68	46.91	49.26	51.72
		Annual	88,505.56	92,930.80	97,577.82	102,456.47	107,579.48
	Information Technology Manager	Hourly		48.27	to	65.17	
		Annual		100,408.97	to	135,552.25	
29	Landscape and Irrigation Maintenance Worker	Hourly	23.53	24.70	25.94	27.23	28.60
		Annual	48,932.36	51,379.05	53,948.06	56,645.69	59,477.76
48	Lead Equipment Mechanic	Hourly	37.61	39.49	41.46	43.54	45.71
		Annual	78,226.16	82,137.46	86,244.06	90,556.41	95,084.36
29	Maintenance Worker	Hourly	23.53	24.70	25.94	27.23	28.60
		Annual	48,932.36	51,379.05	53,948.06	56,645.69	59,477.76
46	Management Analyst	Hourly	35.80	37.59	39.47	41.44	43.51
		Annual	74,456.86	78,179.70	82,088.71	86,193.00	90,502.77

CITY OF SANTEE  
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE  
 EFFECTIVE JANUARY 12, 2023

Range	Classification		A	B	C	D	E
	Marketing Aide^	Hourly		15.53	to	21.32	
	Marketing Coordinator	Hourly		32.80	to	46.86	
		Annual		68,223.18	to	97,461.70	
	Marketing Manager	Hourly		45.91	to	62.00	
		Annual		95,497.09	to	128,951.27	
28	Marketing Specialist	Hourly	22.95	24.10	25.30	26.57	27.90
		Annual	47,738.95	50,126.10	52,632.33	55,263.86	58,027.20
	Office Assistant ^	Hourly		15.53	to	21.32	
48	Parks & Landscape Supervisor	Hourly	37.61	39.49	41.46	43.54	45.71
		Annual	78,226.16	82,137.46	86,244.06	90,556.41	95,084.36
	Principal Civil Engineer	Hourly		59.66	to	80.81	
		Annual		124,099.39	to	168,083.97	
	Principal Planner	Hourly		47.28	to	63.83	
		Annual		98,345.52	to	132,768.55	
	Principal Traffic Engineer	Hourly		59.66	to	80.81	
		Annual		124,099.39	to	168,083.97	
38	Procurement Specialist	Hourly	29.38	30.85	32.39	34.01	35.71
		Annual	61,110.18	64,165.66	67,373.91	70,742.83	74,279.87
	Public Services Manager	Hourly		45.91	to	62.00	
		Annual		95,497.09	to	128,951.27	
43	Public Works Supervisor	Hourly	33.24	34.90	36.65	38.48	40.40
		Annual	69,140.49	72,597.39	76,227.35	80,038.85	84,040.43
	Recreation Aide ^	Hourly		15.53	to	18.21	

CITY OF SANTEE  
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE  
 EFFECTIVE JANUARY 12, 2023

Range	Classification		A	B	C	D	E
28	Recreation Coordinator	Hourly	22.95	24.10	25.30	26.57	27.90
		Annual	47,738.95	50,126.10	52,632.33	55,263.86	58,027.20
	Recreation Leader ^	Hourly		16.56	to	19.67	
	Recreation Services Manager	Hourly		45.91	to	62.00	
		Annual		95,497.09	to	128,951.27	
	Recreation Supervisor	Hourly		32.80	to	46.86	
		Annual		68,223.18	to	97,461.70	
36	Senior Account Clerk	Hourly	27.96	29.36	30.83	32.37	33.99
		Annual	58,165.56	61,073.86	64,127.71	67,334.03	70,700.96
53	Senior Accountant	Hourly	42.55	44.68	46.91	49.26	51.72
		Annual	88,505.56	92,930.80	97,577.82	102,456.47	107,579.48
50	Senior Building Inspector	Hourly	39.51	41.49	43.56	45.74	48.03
		Annual	82,186.17	86,295.73	90,610.73	95,140.97	99,898.24
	Senior Civil Engineer / Senior Traffic Engineer	Hourly		52.30	to	71.12	
		Annual		108,783.30	to	147,924.36	
	Senior Human Resources Analyst	Hourly		43.33	to	58.49	
		Annual		90,118.33	to	121,660.54	
	Senior Management Analyst	Hourly		41.26	to	55.71	
		Annual		85,826.99	to	115,867.17	
	Senior Planner	Hourly		41.11	to	55.51	
		Annual		85,517.21	to	115,451.06	
	Special Events Supervisor	Hourly		32.80	to	46.86	
		Annual		68,223.18	to	97,461.70	

CITY OF SANTEE  
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE  
 EFFECTIVE JANUARY 12, 2023

Range	Classification		A	B	C	D	E
	Storm Water Program Assistant^	Hourly		28.73	to	34.92	
50	Storm Water Program Coordinator	Hourly	39.51	41.49	43.56	45.74	48.03
		Annual	82,186.17	86,295.73	90,610.73	95,140.97	99,898.24
	Student Intern ^	Hourly		15.53	to	19.67	
	Technical Professional Expert ^	Hourly		50.00	to	160.00	

^Part-time, temporary status

CITY OF SANTEE  
MAYOR AND CITY COUNCIL MEMBERS SALARY SCHEDULE  
EFFECTIVE JUNE 24, 2021

<u>Range</u>	<u>Classification</u>		
	City Council Member	Monthly	1,754.33
		Annual	21,051.96
	Mayor	Monthly	2,956.58
		Annual	35,478.96

**MEETING DATE** January 11, 2023

**ITEM TITLE** CLAIM AGAINST THE CITY BY ALLAN FAMILY TRUST AND ROBERT M. ALLAN TRUSTEE; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA")

**DIRECTOR/DEPARTMENT** Matt Rankin, Director of Human Resources 

**SUMMARY**

A claim was filed against the City of Santee by the Allan Family Trust and Robert M. Allan Trustee on November 8, 2022. The claim has been reviewed by the City's Director of Human Resources prior to bringing it forward for consideration. The Director of Human Resources recommends the claim be rejected as provided in Government Code Section 913.

The claim documents are on file in the Office of the City Clerk for Council reference.

**FINANCIAL STATEMENT** 

There is no financial impact to the City by rejecting the claim.

**CITY ATTORNEY REVIEW**  N/A •  Completed

**RECOMMENDATION** 

Reject claim per Government Code Section 913.

**ATTACHMENT**

None

**MEETING DATE** January 11, 2023

**ITEM TITLE** PUBLIC HEARING FOR A TENTATIVE PARCEL MAP (TPM2020-1) AND DEVELOPMENT REVIEW PERMIT (DR2020-1) FOR A RESIDENTIAL SUBDIVISION CONSISTING OF FOUR SINGLE-FAMILY DWELLING UNITS LOCATED AT 8732 PROSPECT AVENUE IN THE LOW-MEDIUM DENSITY RESIDENTIAL (R-2) ZONE (APPLICANT: PALM TREE INVESTMENTS); FINDING THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) INAPPLICABLE OR RELYING ON A CEQA EXEMPTION PER STATE CEQA GUIDELINES SECTION 15315

**DIRECTOR/DEPARTMENT** Marlene D. Best, Development Services *MDB*

**SUMMARY**

The applicant is requesting a Tentative Parcel Map (TPM2020-1) and Development Review Permit (DR2020-1) for the division of a 0.85-acre parcel of land into four separate parcels of land on property located at 8732 Prospect Avenue (APN 383-112-26) within the Low-Medium Density Residential (R-2) Zone. The proposed parcels would have lot areas as follows: Parcel 1: 8,303 square feet; Parcel 2: 9,550 square feet; Parcel 3: 9,123 sq. ft.; and Parcel 4: 7,680 square feet. Each parcel would be developed with a two-story single-family home with floor areas ranging from 2,338 square feet to 2,747 square feet. Each home would provide a two-car garage with vehicular access via an on-site shared driveway from Our Way, a private drive.

The proposed project would be developed at a density of 4.7 dwelling units per acre, consistent with the R-2 designation which allows densities ranging between 2 to 5 dwelling units per acre. The project is consistent with the current General Plan Land Use Designation and Zoning Classification. In addition, the project will comply with the Sustainable Santee Plan and development standards including building height, setbacks, and landscaping.

**ENVIRONMENTAL REVIEW**

The subject project is exempt from environmental review per Section 15315, Class 15 (Minor Land Division) of the California Environmental Quality Act (CEQA) guidelines, as projects which involve the division of property into four or fewer parcels are exempt from environmental review.

**FINANCIAL STATEMENT** *HJ*

Staff costs for application processing are paid on an actual cost recovery basis. Development Impact Fees are estimated to total \$110,440.84.

**CITY ATTORNEY REVIEW**  N/A  Completed

**RECOMMENDATION**

1. Conduct and close the Public Hearing; and
2. Find that Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 are exempt from CEQA and authorize the filing of a Notice of Exemption; and
3. Adopt the attached resolutions approving Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1.



**ATTACHMENTS**

- Staff Report
- Aerial Vicinity Map
- Project Plans
- Resolution for Tentative Map
- Resolution for Development Review Permit



**STAFF REPORT**

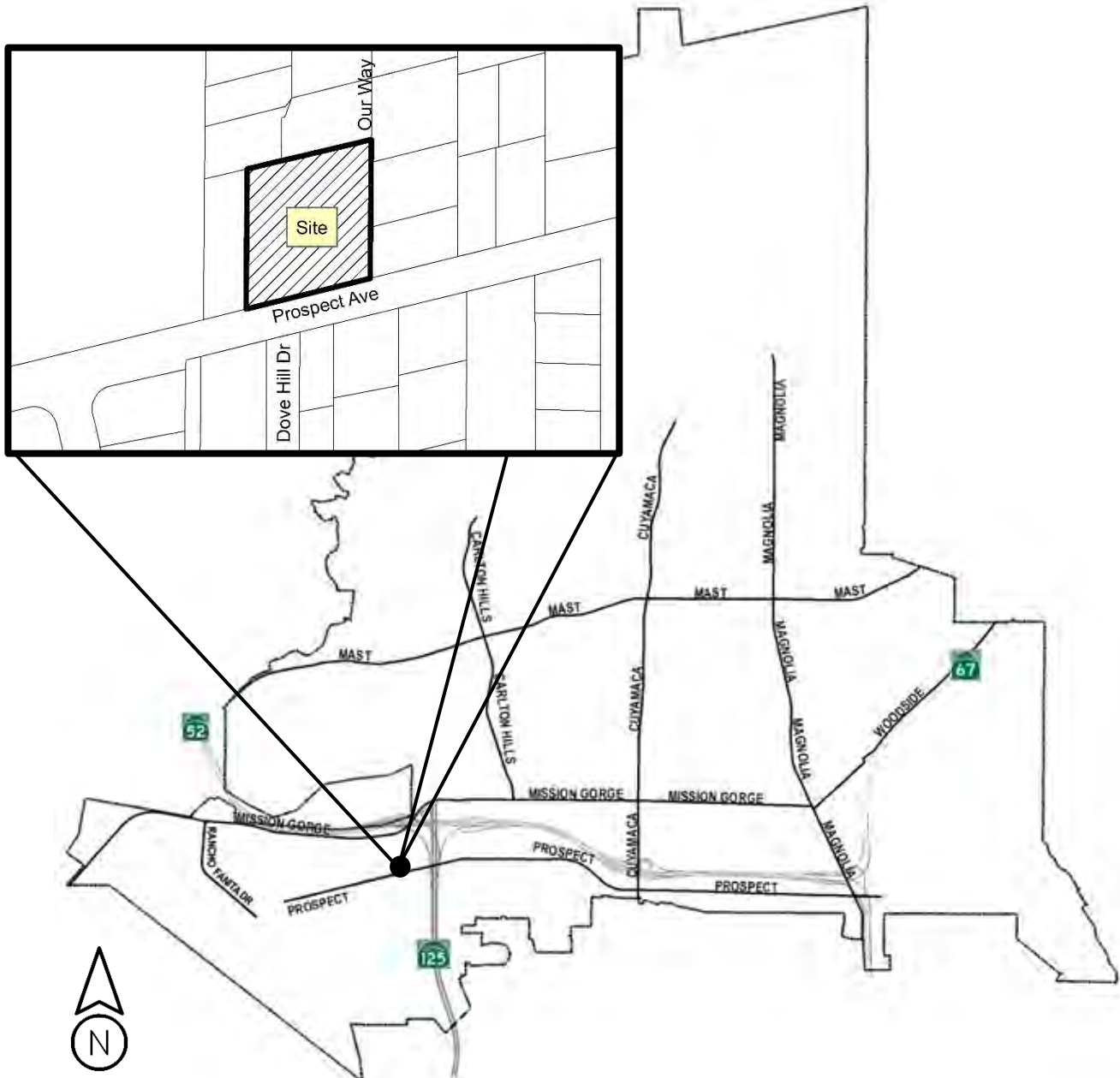
**PUBLIC HEARING FOR A TENTATIVE PARCEL MAP (TPM2020-1) AND DEVELOPMENT REVIEW PERMIT (DR2020-1) FOR A RESIDENTIAL SUBDIVISION CONSISTING OF FOUR SINGLE-FAMILY DWELLING UNITS LOCATED AT 8732 PROSPECT AVENUE IN THE LOW-MEDIUM DENSITY RESIDENTIAL (R-2) ZONE; FINDING THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) INAPPLICABLE OR RELYING ON A CEQA EXEMPTION PER STATE CEQA GUIDELINES SECTION 15315**

**APPLICANT: PALM TREE INVESTMENTS, LLC  
APN: 383-112-26**

**CITY COUNCIL MEETING  
JANUARY 11, 2023**

Notice of the Public Hearing was published in the East County Californian on December 30, 2022 and 118 adjacent owners or residents of property within 300 feet of the request and other interested parties were notified by U.S. Mail on December 29, 2022.

**PROJECT LOCATION MAP**



**A. SITUATION AND FACTS**

1. Requested by ..... Palm Tree Investments, LLC
2. Land Owner..... Palm Tree Investments, LLC
3. Type and Purpose of Request .... Tentative Parcel Map and a Development Review Permit for a residential subdivision consisting of four single-family residences.
4. Location ..... 8732 Prospect Avenue
5. Site Area ..... 0.85-acres
6. Number of lots ..... One existing / four proposed
7. Hillside Overlay ..... No
8. Existing Zoning ..... R-2 (Low-Medium Density Residential)
9. Surrounding Zoning..... North: R-2 (Low-Medium Density Residential)  
South: R-2 (Low-Medium Density Residential)  
East: R-2 (Low-Medium Density Residential)  
West: R-2 (Low-Medium Density Residential)
10. General Plan Designation ..... R-2 (Low-Medium Density Residential)
11. Existing Land Use ..... Vacant single-family residence
12. Surrounding Land Use ..... North: Single-family residential  
South: Single-family residential  
East: Single-family residential  
West: Single-family residential
13. Terrain..... Gentle slope downward from the southwest corner to the northeast corner.
14. Environmental Status ..... Categorical Exemption: 15315 "Minor Land Division"
15. APN..... 383-112-26-00
16. Within Airport Influence Area ..... The project is within Airport Influence Area 2 and does not require a consistency review with the Gillespie Field Airport Land Use Compatibility Plan (ALUCP)

## **B. BACKGROUND**

### **Existing Conditions:**

The 0.85-acre project site is located on the northwest corner of Prospect Avenue and Our Way and developed with a single-family residence built in the 1960s. The existing single-family residence is vacant and will be demolished. Single-family residences abut the project site to the west and north. Prospect Avenue (a public road) and Our Way (a private road) bounds the property to the south and east with single-family residences beyond.

The site gradually slopes down, approximately five percent, from the southwest corner to the northeast corner. The parcel currently has access from Our Way; a 50-foot wide private street, 25 feet which is located on the project site. Access through Our Way is via road access and utility easements.

## **C. PROJECT DESCRIPTION**

### **Overview:**

The project is a request for a Tentative Parcel Map and Development Review Permit for a residential subdivision consisting of four single-family dwelling units on a 0.85-acre parcel. The proposed parcels would have lot areas as follows: Parcel 1: 8,303 square feet; Parcel 2: 9,550 square feet; Parcel 3: 9,123 sq. ft.; and Parcel 4: 7,680 square feet. The proposed parcels meet the density, lot size, and parcel dimension requirements of the R-2 Zone.

The project includes two model homes designed in the Spanish Colonial Revival architectural style:

Model A: 2,338 square feet (including two-car garage) / 25'6" in height (two-stories)  
Model B: 2,747 square feet (including two-car garage) / 24'11" in height (two-stories)

Each home would provide a two-car garage with vehicular access via an on-site shared driveway from Our Way.

## **D. ANALYSIS**

### **General Plan / Zoning:**

The project is consistent with the General Plan and Zoning Code. The site is subject to the development standards of the R-2 zoning district, which are delineated in Chapter 13.10 of the Santee Municipal Code (SMC). The project would be developed at a density of 4.7 dwelling units per acre per acre which is consistent with the R-2 General Plan land use designation / zone classification allowing 2 to 5 dwelling units per gross acre. The project furthers Objective 5.0 of the Housing Element which encourages a wide range of housing by location, type of unit, and price. The project proposes a net gain of 3 residences (4 minus demolition of one residence) that will be

added to the City's housing stock.

**Parking:**

Parking requirements for single-family dwellings are located in Section 13.24.040 of the SMC. Each dwelling must have a minimum of two spaces in a garage. The project provides two (2) parking spaces for each unit inside an attached garage. Access is provided through a shared private driveway from Our Way.

**Grading:**

Topography of the site slopes gently toward the northeast corner of the property. The high point is on the southwest corner with an elevation of 366 feet and the low point is on the northeast corner with an elevation of 351 feet.

Approximately 280 cubic yards of cut and fill is proposed to create the building pad areas. Retaining walls up to four feet in height are proposed to accommodate the grade change.

**Landscaping:**

The proposed landscape plans consist of low sprawling and large accent shrubs, front yard and slope groundcover, and small and medium size evergreen trees.

**Compatibility with Adjacent Land Uses:**

The proposed project is compatible with the R-2 development standards including building height and size. The single family-dwelling units of the project reach a maximum building height of 25 feet 6 inches which is below the maximum of 35 feet allowed in the R-2 zone.

The project is compatible in height with surrounding residential development including the detached two-story single-family condominiums (approximately 29 feet in height) within the Prospect Fields development and Prospect Estates II located west of the project site which was approved by City Council in 2019. Prospect Estates II consists of single-family dwellings with a maximum building height of 28 feet and condominiums with a maximum building height of 32 feet.

As such, the proposed project is consistent with nature and form of development anticipated in this area in the General Plan.

**Safe Routes to School:**

Chet F. Harritt Elementary School (8120 Arlette Street) is located approximately 0.66 miles to the west of the project site. Prospect Avenue is a main corridor for students travelling to and from this school. This project has been conditioned to provide public improvements which includes widening Prospect Avenue and constructing a sidewalk. Therefore, the project would provide new pedestrian facilities that will directly contribute to Santee's "Safe Routes to School" program.

**Development Impact Fees:**

The proposed development would trigger development impact fees as listed below:

Drainage	\$ 13,612.00
Traffic	\$ 17,148.00
Traffic Signal	\$ 1,772.00
Park-in-Lieu	\$ 36,684.00
Public Facilities	\$ 30,472.00
RTCIP	\$ <u>10,752.84</u>
<b>Total</b>	<b>\$ 110,440.84</b>

**Undergrounding of Overhead Utilities Waiver Fee:**

In the opinion of the City Engineer, undergrounding of overhead utilities along the project frontage is not practical. Therefore, the applicant is required to make an in-lieu cash deposit towards the future undergrounding of the existing facilities. The deposit amount is determined by multiplying the length of property frontage on Prospect Avenue (192.5 feet) by an appropriate cost per linear foot to underground in effect at the time of occupancy as determined by the Director. The current deposit rate is \$ 689.28/linear foot. Based on the project frontage of 192.5 feet and the current rate, the applicant would be expected to make a cash deposit of \$132,686.40.

**Street Improvements:**

Improvements to Prospect Avenue include widening the street by a 12-foot dedication to meet collector street standards which include curb, gutter, sidewalk, street lighting, pedestrian ramps and landscaping that would be provided along the project's frontage. In addition, drainage improvements and the replacement of existing inadequate pavement is required.

**Our Way Access:**

As demonstrated by a plot of easements for the subject Tentative Parcel Map and by a Title Report provided for the subject property, Our Way is a 50-foot wide private access and utility easement that traverses the 25-foot easterly portion of the subject property. As primary access to the development would be provided from Our Way, the project is conditioned to improve and maintain this 25-foot portion of the easement. As there is no recorded agreement between the properties that share Our Way, it is a private matter between the beneficiaries of this access easement as to the condition and maintenance of the access easement.

**Traffic:**

The project's traffic analysis prepared by Darnell & Associates states that the project would generate an additional 40 daily trips, including 3 AM and 4 PM peak hour trips. Therefore, the volume of traffic generated by the project does not require additional traffic analysis.

**Noise:**

The Noise Element of the General Plan is used to guide the location and type of development to protect the citizens of Santee from excessive exposure to noise. Portions of this site were identified in the Noise Element as being subjected to increased ambient noise levels primarily due to proximity to roads and freeways above 60 decibels. For residential uses, a noise level below 65 decibels is normally acceptable. Noise levels between 65 and 70 decibels are conditionally acceptable and require a detailed analysis prior to development.

A noise analysis prepared by dBf Associates, Inc. concluded that construction of a six-foot-high masonry wall along Prospect Avenue would reduce traffic noise levels and compliance with the construction hours would not result in any significant effect relating to noise.

The project is conditioned to require advance notice of construction to surrounding properties, within 300 feet of the site no later than 10 days before the start of construction, in accordance with Section 5.04.090 of the Santee Municipal Code. The notice will describe the nature of the construction, the expected duration, and provide a point of contact to resolve noise complaints.

**Environmental Status:**

The project was determined to be Categorical Exempt from California Environmental Quality Act (CEQA) pursuant to Section 15315, Class 15 (Minor Land Division) of the CEQA guidelines, as projects which involve the division of property into four or fewer parcels are exempt from environmental review.

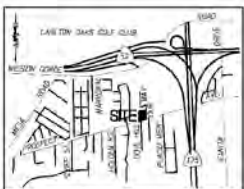
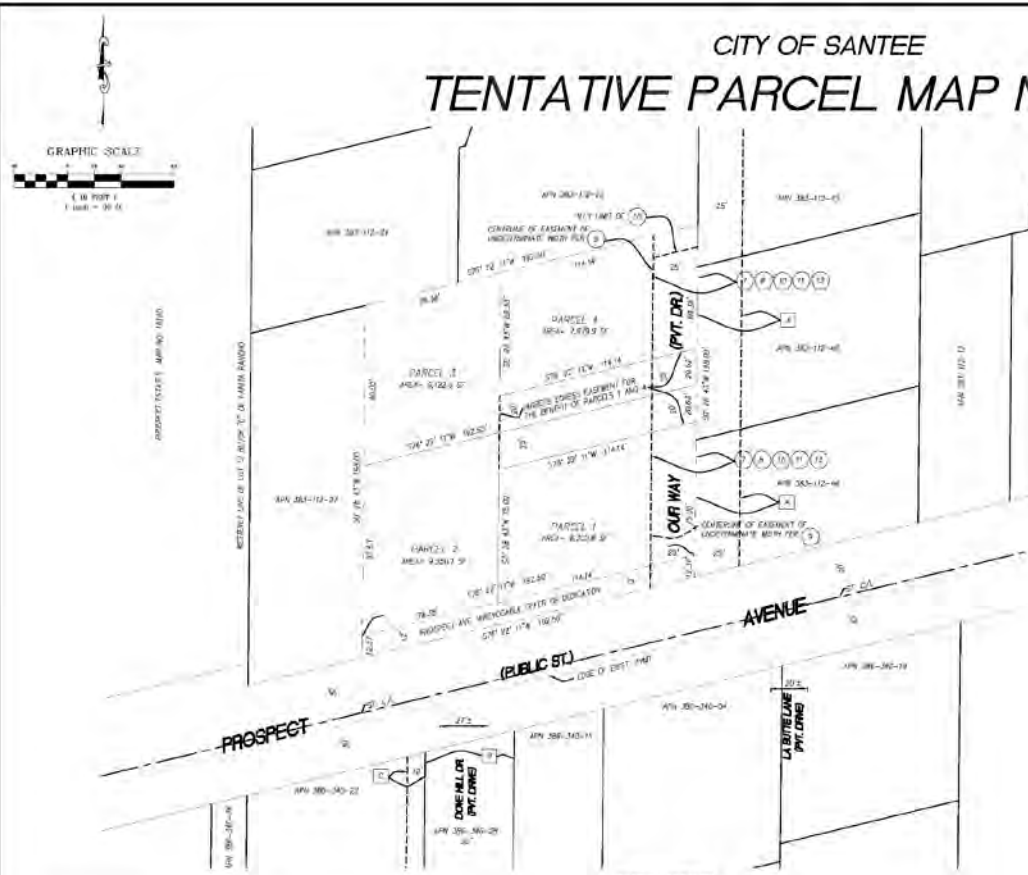
**E. STAFF RECOMMENDATION**

1. Conduct and close the Public Hearing;
2. Find that Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 Categorical Exempt pursuant to Section 15315 of the CEQA Guidelines and authorize the filing of a Notice of Exemption; and
3. Approve Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 per the attached Resolutions.

**AERIAL VICINITY MAP FOR  
TENTATIVE PARCEL MAP (TPM2020-1) AND DEVELOPMENT REVIEW PERMIT (DR2020-1)  
8732 PROSPECT AVENUE**



# CITY OF SANTEE TENTATIVE PARCEL MAP NO. 2020-1



**LEGAL DESCRIPTION**

THAT PORTION OF LOT 12, IN BLOCK C OF FAHRA SQUARE, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NUMBER 488, FILED IN THE OFFICE OF THE COUNTY RECORDER ON OCTOBER 22, 2015, BEING GENERALLY DESCRIBED AS THE SOUTHERLY 180.00 FEET WEASERS ALONG A LINE PARALLEL WITH AND DISTANT 18.00 FEET, ACROSSING ALONG THE SOUTHERLY LINE OF SAID LOT 12, FROM THE WESTERN LINE OF SAID LOT 12, TO THE WESTERN LINE OF A LINE PARALLEL WITH AND DISTANT 18.00 FEET, MEASURED ALONG THE SOUTHERLY LINE OF SAID LOT 12, FROM THE WESTERN LINE OF SAID LOT 12.

**EASEMENT NOTES**

EASEMENTS NOTED IN ARE CIRCLES ARE PER PERMANENT FILE REPORT PREPARED BY FIDELITY NATIONAL TITLE ASSURANCE COMPANY GROUP NO. 084262-060-001 DATED APRIL 25, 2020. THE 100' DRIVEWAY (RED HATCH) AREA IS LOCATED ON SAID LOT 12.

- 1. EASEMENT OF 100' DRIVEWAY SERVING FOR BULKHEAD, AND FOR STORAGE AND STORAGE FOR ROAD PURPOSES, AND ADJOINING PARCELS, RECEIVED AND RECORDED INTO 204, IN BOOK 3024, PAGE 214, OF OFFICIAL RECORDS.
- 2. EASEMENT OF GRACE W. GARDNER, FOR ROAD PURPOSES, PER DEED RECORDED JUNE 15, 2008, IN BOOK 2153, PAGE 112, OF OFFICIAL RECORDS.
- 3. EASEMENT OF SAN DIEGO GAS & ELECTRIC COMPANY FOR LINE OF PEEL AND ADJACENT PURPOSES, PER DEED RECORDED JANUARY 8, 1924, IN BOOK 7434, PAGE 325, AND BOOK 7712, PAGE 115, ALL OF OFFICIAL RECORDS.
- 4. EASEMENT OF SANTEE WATER DISTRICT FOR WATER AND SEWER LINES, PER DEED RECORDED OCTOBER 29, 2018, IN BOOK 3166, PAGE 282, OF OFFICIAL RECORDS.
- 5. EASEMENT OF AILEEN THOMAS AND KATHA LINDSEY, RECEIVED AND RECORDED JANUARY 22, 2017, AS INSTRUMENT NO. 188-348583, OF OFFICIAL RECORDS. THE EASEMENT IS FOR THE BENEFIT OF AND APPURTENANT TO, THE PROPERTIES DESCRIBED AS PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, AS INSTRUMENT NO. 188-348583, OF OFFICIAL RECORDS.
- 6. EASEMENT OF ROBERT J. EDWARDS AND LOLA C. EDWARDS, ET AL, FOR DRIVEWAY, SERVING FOR ROAD PURPOSES, PER DEED RECORDED SEPTEMBER 16, 1916, AS INSTRUMENT NO. 1878-284555, OF OFFICIAL RECORDS.
- 7. EASEMENT IS 100' DRIVEWAY PRIVATE ACCESS EASEMENT PER DEED RECORDED JUNE 25, 2016, AS INSTRUMENT NO. 2016-049950, OF OFFICIAL RECORDS, AND DEED RECORDED JANUARY 26, 1917, IN BOOK 1117, PAGE 147, OF OFFICIAL RECORDS FOR THE BENEFIT OF ADJOINING PARCELS, NOS. 383-10-46 AND 383-11-46.
- 8. EASEMENT IS 100' DRIVEWAY PRIVATE ACCESS EASEMENT PER DEED RECORDED NOVEMBER 19, 2016, AS INSTRUMENT NO. 2016-049950, OF OFFICIAL RECORDS.
- 9. EASEMENT IS 100' DRIVEWAY PRIVATE ACCESS EASEMENT PER DEED RECORDED OCTOBER 22, 2017, AS INSTRUMENT NO. 2017-050400, OF OFFICIAL RECORDS.

**ZONING SUMMARY**

PRESENT AND PROPOSED ZONING: R2 LHM-MEDIUM DENSITY RESIDENTIAL

**GENERAL NOTES**

- 1. GROSS AREA: 36,074.32 (204 ACRES)
- 2. LAND USE ASSOCIATION: RESIDENTIAL
- 3. THE SUBJECT IS NOT IN ANY DRY LEASING FLOOD ZONE FOR PARCEL 10000.
- 4. STREET AREA (SQUARE FEET) FOR DESIGN IS 23,010 SF.
- 5. PROPERTY DIMENSIONS ARE TAKEN FROM THE TITLE REPORT LISTED.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS PROJECT IS THE WESTERN LINE OF LOT 12, IN BLOCK C OF FAHRA SQUARE, ACCORDING TO MAP NO. 488, FILED IN THE OFFICE OF THE COUNTY RECORDER ON OCTOBER 22, 2015.

**OWNERS/SUBDIVIDERS**

RAIM FINE INVESTMENTS, L.L.C.

BY: \_\_\_\_\_ INC.      JAMES L. BORGARD RICK SHAW      JUNE 16, 2020, AT 10:45 AM



CATEGORY	REQUIRED	AVAIL.	PROG. 20%	PROG. 50%	PROG. 75%
NET LOT AREA (SQUARE FEET)	6,000	6,000.0	3,000.0	3,000.0	3,000.0
TOTAL LOT FRONTAGE	27	36.0	20.4	20.6	20.6
LOT COVERAGE	40% MAX	18.42%	13.33%	13.33%	13.33%
WEIRATH (30%)					
PROFIT	27	44.6	25.0	27.2	36.7
EXTERIOR SIDE YARD	10	20.7	7.5	7.5	7.5
WATERWAY SIDE YARD	5	5.7	5.7	5.7	5.7
SEAR	15	15	7.5	7.5	7.5
MIN. LOT DIM'S (FEET/INCHES)	40 (12'00")	40 (12'00")	20 (6'00")	20 (6'00")	20 (6'00")
COLLECTOR ST. (PROSPECT AVE)	25 (0'11")	25 (0'11")	25 (0'11")	25 (0'11")	25 (0'11")
MIN. HEIGHT (IN FEET)	10 (2 STOREYS)	10 (2 STOREYS)	10 (2 STOREYS)	10 (2 STOREYS)	10 (2 STOREYS)
MINIMUM PAVEMENT	2'-0" (DRAINAGE)	2'-0" (DRAINAGE)	2'-0" (DRAINAGE)	2'-0" (DRAINAGE)	2'-0" (DRAINAGE)

**TENTATIVE PARCEL MAP  
DEVELOPMENT SUMMARY**

Revision 1: \_\_\_\_\_

Revision 2: \_\_\_\_\_

Revision 3: \_\_\_\_\_

Revision 4: \_\_\_\_\_

DATE: \_\_\_\_\_



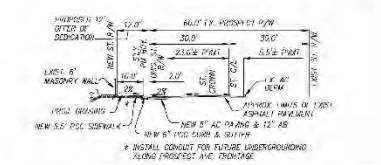
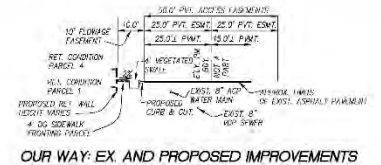
# CITY OF SANTEE TENTATIVE PARCEL MAP NO. 2020-1

### GENERAL NOTES

1. TOPOGRAPHIC CONTOURS ARE FROM CITY OF SANTEE EXISTING TERRAIN MAP T-23(304).  
2. SHADINGS SHOWN IN CONTOUR MAP TO INDICATE EXISTING TOPOGRAPHY AND THAT DRAINAGE RUNS TO EAST ON A FIELD OF NATURAL COMPOSED TOPOGRAPHIC SURVEY.

### BENCHMARK

THE ABOVE BENCHMARK FOR THIS SITE IS CITY OF SANTEE BENCHMARK T-23(304) WITH NORTH POINT BEING B.O.G.S. 11252, LOCATED AT THE INTERSECTION OF PROSPECT AVENUE AND FLAGG VIEW DRIVE (SEE FROM 300.04. 965.)

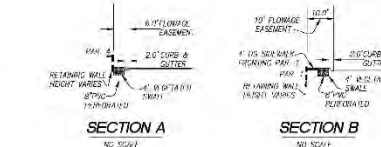


**PROSPECT AVENUE: ULTIMATE STREET IMPROVEMENTS**  
SCALE: 1"=20'

**PRIVATE DRIVEWAY PROPOSED PAVEMENT SECTION**  
SCALE: 1"=20'

OUR WAY EXISTING WALL HEIGHTS		OUR WAY EXISTING WALL HEIGHTS	
PKWY #	HEIGHT	PKWY #	HEIGHT
1	0.5'	1	0.5'
2	0.5'	2	1.5'
3	2.0'	3	2.0'
4	-2.0'	4	2.5'
5	1.5'	5	2.0'
6	1.0'	6	3.0'
7	-0.5'	7	3.5'
8	0.5'	8	1.0'

\* GRADE TOP OF SLOPE TO MEET 3.5' WALL HEIGHT

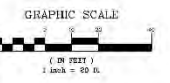


**TENTATIVE PARCEL MAP 2020-1  
CONCEPTUAL DEVELOPMENT PLAN**

Original Date: 4/14/2022

Revision 1: _____
Revision 2: _____
Revision 3: _____
Revision 4: _____

Sheet: 2 of 12

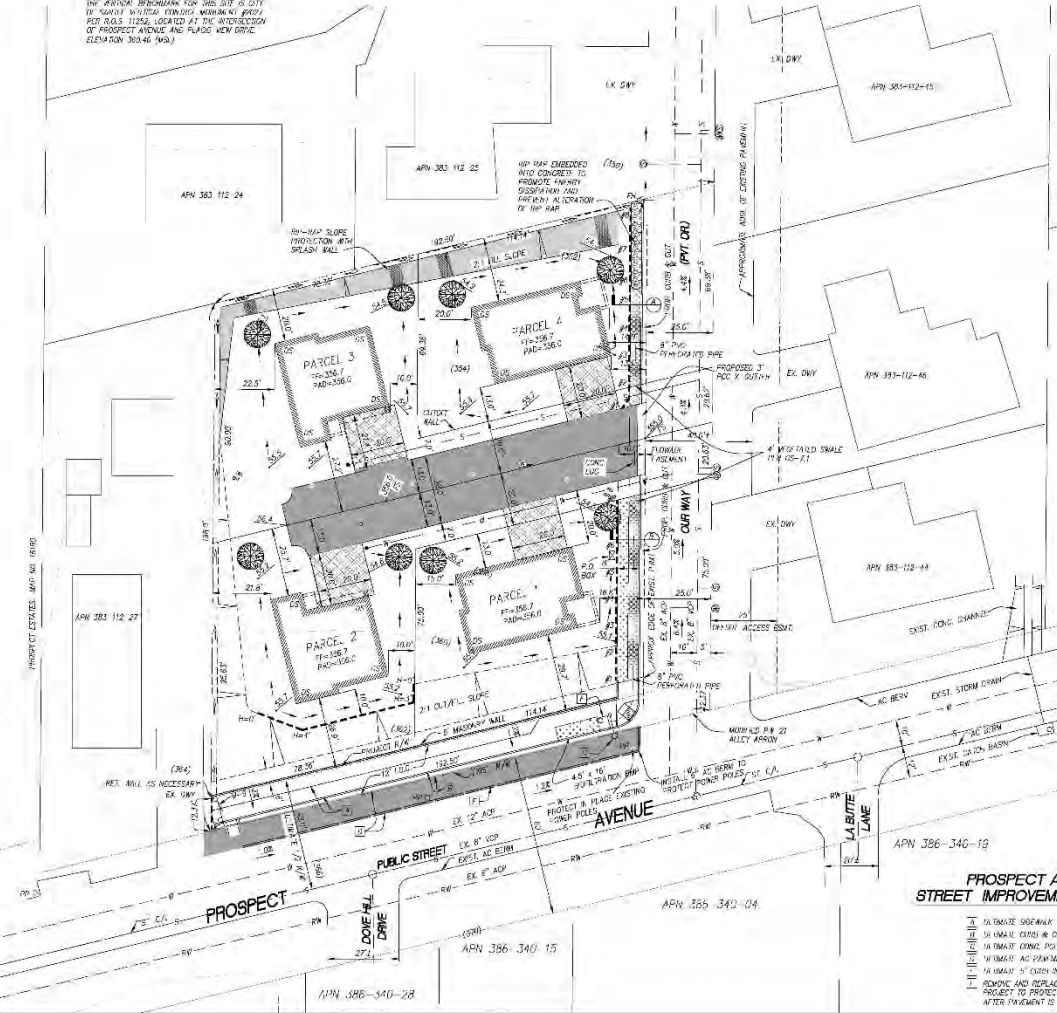


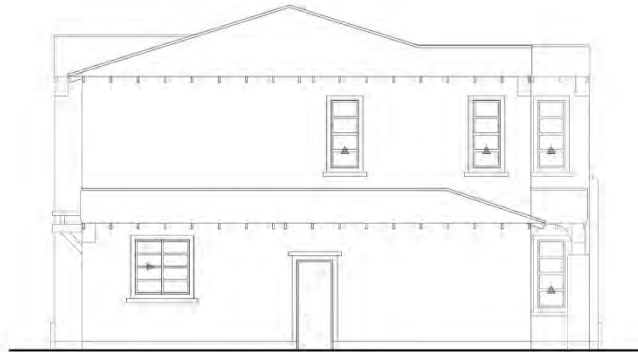
### LEGEND

- PROPOSED 10" W/10' R/W
- PROPOSED RETAINABLE PARCELS FOR DRIVEWAY TO EACH GARAGE
- PROPOSED 10" W/10' R/W
- PROPOSED WATER LINE
- PROPOSED 10" W/10' R/W PER SDO 6-10
- PROPOSED 1/2" MIN. GRANULAR SLOPE
- PROPOSED AC BEIN
- PROPOSED FINISH GRADE ELEVATION
- EXISTING WALL OF C-1 & C-2
- EXISTING CONTOURS
- EXISTING 10" W/10' R/W
- EXISTING WATER LINE
- EXISTING POWER POLE
- 2:1 INLET TO DRY
- 2:1 OUT SLOPE
- 2:1 INLET TO DRY
- 2:1 OUT SLOPE
- 5' CURB INLET TYPE B PER SDO 6-10
- PROPOSED 10" W/10' R/W PER SDO 6-10
- CONCRETE GYON PER SDO 6-10 TYPE A
- CURB WALL PER SDO 6-10
- HEADWALL PER SDO 6-10
- CONCRETE LOG PER SDO 6-10
- CONCRETE 10" W/10' R/W
- GUARD POST & BARRICADE PER SDO 6-10
- 8" W/10' R/W PROTECTION WITH 5" ASPH. ROAD
- 5" AC(1.5") AD FOR PRIVATE DRIVEWAY & 5" AC(1.5") AD FOR PROSPECT AVENUE
- PROPOSED 4" WIDE VEGETATED SHALE
- PROPOSED 4" WIDE V.O.C. PAVEMENT

### PROSPECT AVENUE STREET IMPROVEMENTS LEGEND

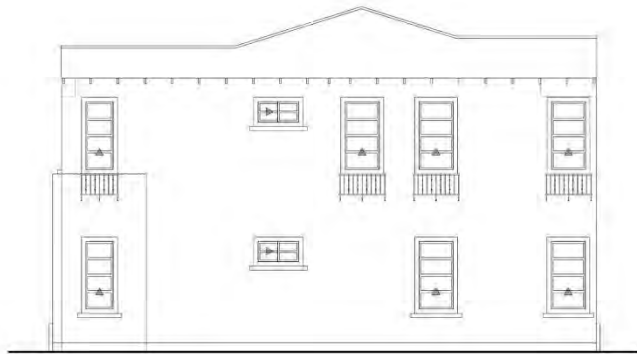
- 1. ULTIMATE SIDEWALK
- 2. ULTIMATE CURB & GUTTER
- 3. ULTIMATE CONC. POLE ST. LIGHT
- 4. ULTIMATE AC PAVEMENT
- 5. ULTIMATE 10" W/10' R/W PER SDO 6-10
- 6. REMOVE AND REPLACE 6" BORN ON PROSPECT AVE. TYPING PROJECT TO PROTECT EXISTING POWER POLES THAT ARE TO REMAIN AFTER PAVEMENT IS INSTALLED WITH 1" GRANULAR CURB TO 12" FEET





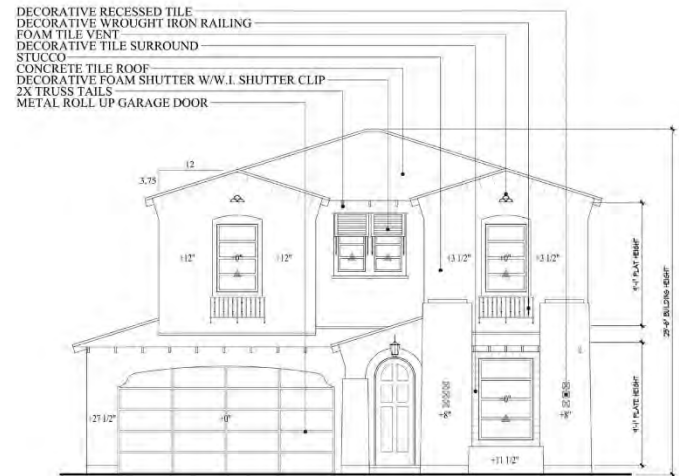
**LEFT ELEVATION 'A'**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION 'A'**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION 'A'**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION 'A'**

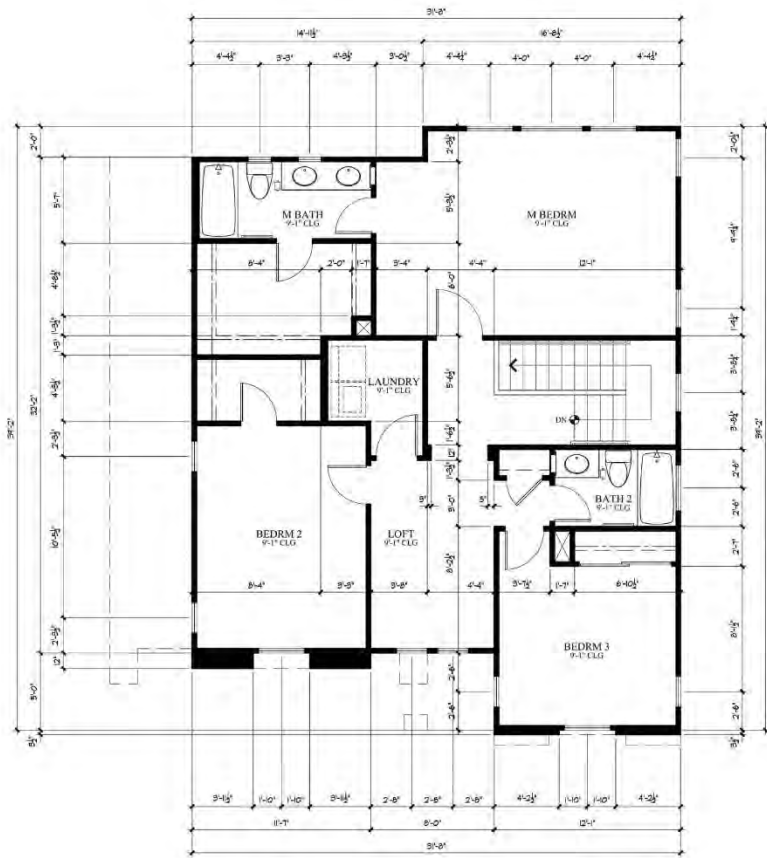
SCALE: 1/4" = 1'-0"

**PLAN ONE  
PALM TREE INVESTMENTS**

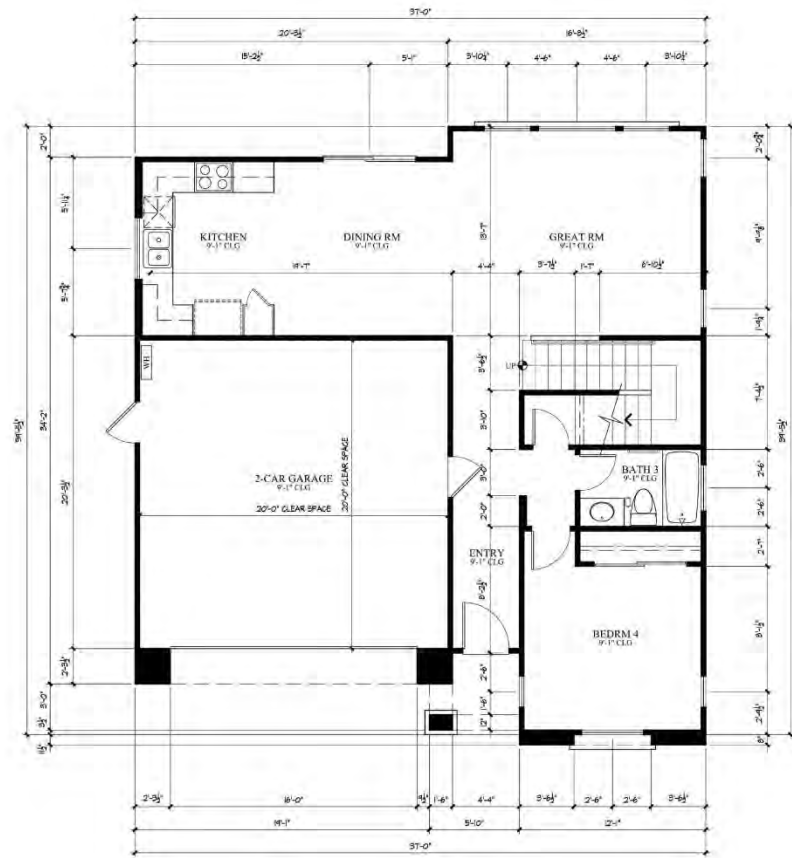
SCALE: 1/4" = 1'-0"



THE MCKINLEY ASSOC., INC.  
ARCHITECTURE & PLANNING  
AUGUST 4, 2021



SECOND FLOOR PLAN 'A'  
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN 'A'  
SCALE: 1/4" = 1'-0"

FIRST FLOOR: 876 SQ. FT.  
SECOND FLOOR: 1,050 SQ. FT.  
TOTAL: 1,926 SQ. FT.  
GARAGE: 412 SQ. FT.

PLAN ONE  
PALM TREE INVESTMENTS

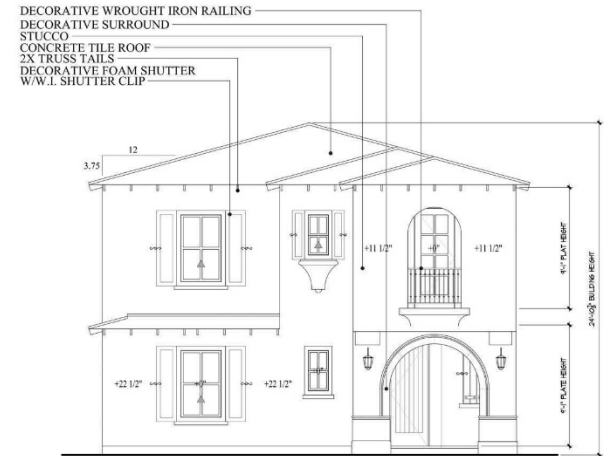
SCALE: 1/4" = 1'-0"



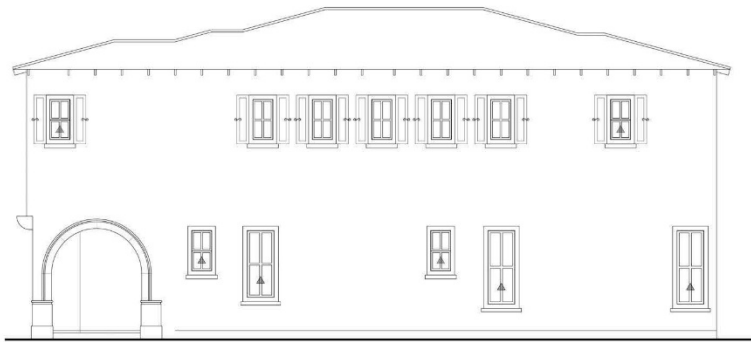
AUGUST 4, 2021



LEFT ELEVATION 'A'  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'A'  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION 'A'  
SCALE: 1/4" = 1'-0"



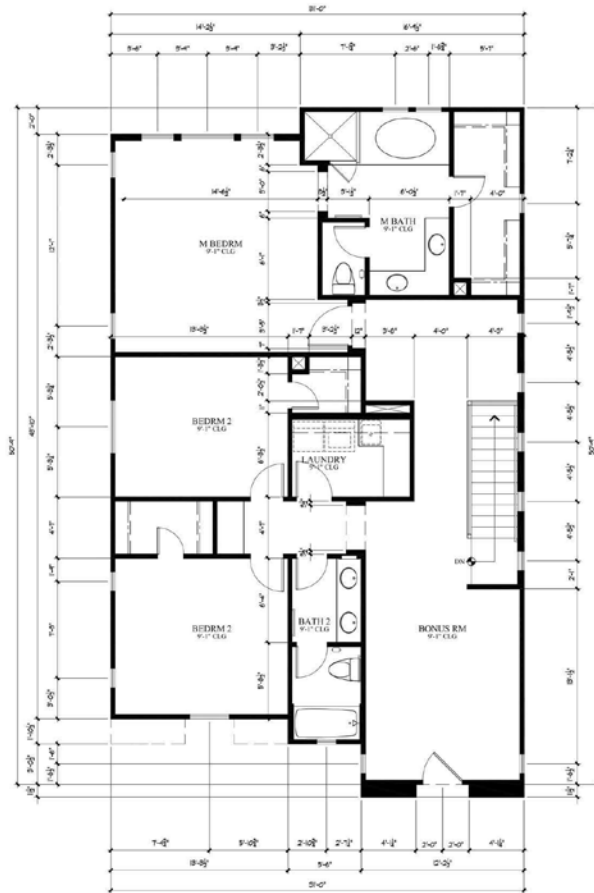
REAR ELEVATION 'A'  
SCALE: 1/4" = 1'-0"

PLAN TWO  
PALM TREE INVESTMENTS

SCALE: 1/4" = 1'-0"



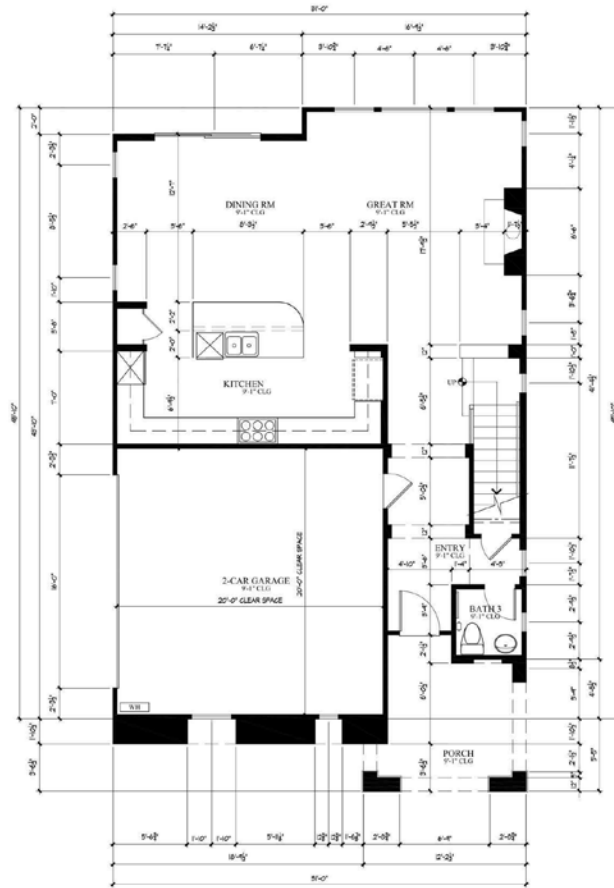
AUGUST 4, 2021



SECOND FLOOR PLAN 'A'  
SCALE: 1/4" = 1'-0"



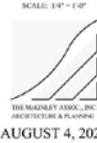
BEDRM 4 OPTION 'A'  
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN 'A'  
SCALE: 1/4" = 1'-0"

FIRST FLOOR: 924 SQ. FT.  
SECOND FLOOR: 1,409 SQ. FT.  
TOTAL: 2,333 SQ. FT.  
GARAGE: 414 SQ. FT.

PLAN TWO  
PALM TREE INVESTMENTS





FRONT ELEVATION 2A  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 1A  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 2B  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 1B  
SCALE: 1/4" = 1'-0"

PLAN ONE/TWO  
PALM TREE INVESTMENTS

SCALE: 1/4" = 1'-0"



THE MADLEY ASSOC., INC.  
ARCHITECTS & PLANNERS  
AUGUST 4, 2021



**LEFT ELEVATION 'B'**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION 2B**  
SCALE: 1/4" = 1'-0"



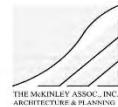
**RIGHT ELEVATION 'B'**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION 'B'**  
SCALE: 1/4" = 1'-0"

**PLAN TWO**  
**PALM TREE INVESTMENTS**

SCALE: 1/4" = 1'-0"

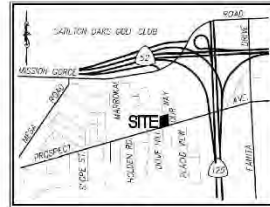


THE MCKINLEY ASSOC., INC.  
ARCHITECTURE & PLANNING  
AUGUST 4, 2021

# 8732 PROSPECT AVENUE SANTÉE, CA 92071

## Landscape Design Objectives

- All new landscaping will be in accordance with the following documents: City of Santee's guidelines:
  - The City of Santee Water Efficient Landscape Ordinance.
  - The City of Santee Grading Ordinance.
- The design theme is established by the architectural elevations and features. These architectural elements shall be considered and enhanced with plantings of an ornamental, yet rustic, character. Design elements enlisted to this and may include, but not necessarily limited to:
  - Selecting trees that will provide filtered shade while maintaining a semitransparent view of the architectural features.
  - Creating a series of horizontal planes through the use of canopy trees, shrub forms and accent colors to reflect the architectural forms.
  - The use of vertical elements, such as narrow trees, decorative fencing and light features, to contrast the long architectural planes, while maintaining the project's geometry.
- All plant material selected for use will be of a type known to be successful in the area or in similar climatic and soil conditions.
- The plant palette listed provides a list of plant material to select from when designing the landscape for this project. However, substitutions may be required due to availability, soils test results, or other influences.
- A soil test by a qualified agronomist shall further influence plant materials and installation techniques. All soils will be fertilized, amended, and tilled to conform to recommendations made by a soil testing laboratory and/or landscape architect in order to promote healthy and vigorous plant growth.
- Color, texture, and structure from plant foliage, bark or flowers will be utilized to create a friendly, warm and visually exciting landscape environment. Thematic color schemes will be utilized in developing project identity.
- All front yards shall be irrigated with a low volume drip irrigation system.



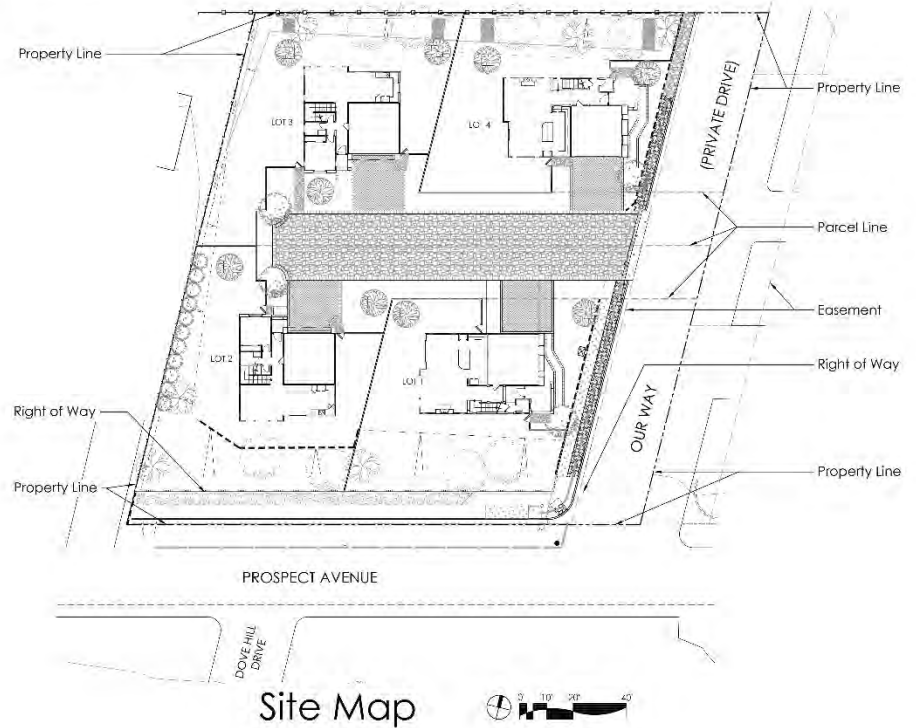
Vicinity Map N.T.S.

## PROJECT DESCRIPTION

FOUR PRIVATE RESIDENCES  
WITH ENTRY AND DRIVE

### SHEET INDEX

- T1 COVER SHEET
- L1 LANDSCAPE SITE PLAN
- L2 LANDSCAPE DETAILS, PLANT LEGEND & HYDROZONE MAP



OWNER  
PALM TREE INVESTMENTS, L.L.C.  
P.O. BOX 9713  
RANCHO SANTA FE, CA 92067  
(858) 354-2885

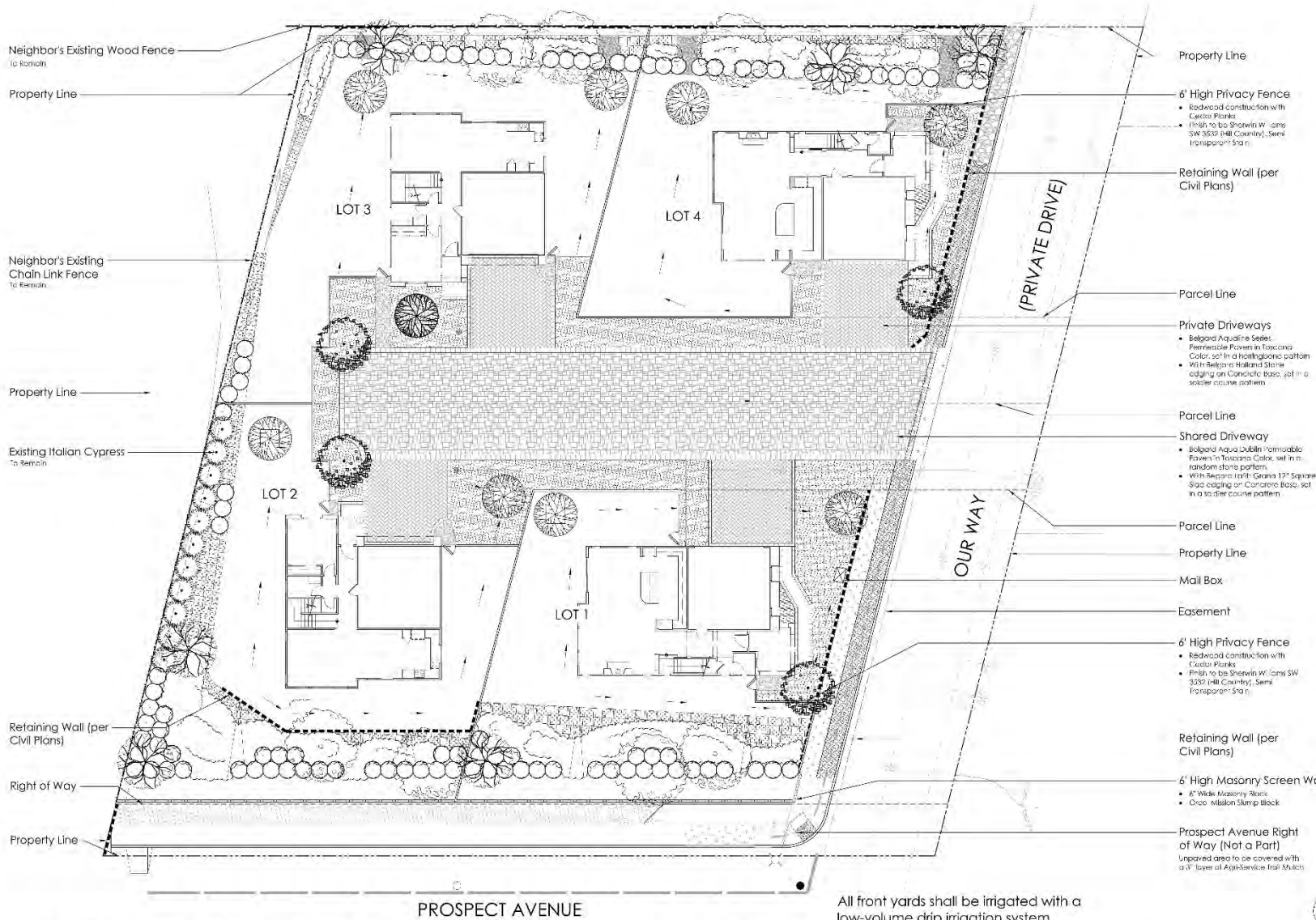
CIVIL ENGINEER  
TOMAS E. ROMERO, P.E.  
10756 VISTA VALLE DRIVE  
SAN DIEGO, CA 92131  
(858) 414-9045

LANDSCAPE ARCHITECT  
TRIBUTARY LA, INC.  
2725 JEFFERSON STREET, SUITE 14  
CARLSBAD, CA 92008  
(760) 434-9300

ARCHITECT  
THE MCKINLEY ASSOCIATES  
1818 FIRST AVENUE, SUITE 200  
SAN DIEGO, CA 92101  
(619) 238-1134

8732 PROSPECT AVENUE  
SANTÉE, CALIFORNIA  
BY PALM TREE INVESTMENTS L.L.C.





PROSPECT AVENUE

All front yards shall be irrigated with a low-volume drip irrigation system.



**8732 PROSPECT AVENUE**  
 SANTEE, CALIFORNIA  
 BY PALM TREE INVESTMENTS L.L.C.

**LEGEND**

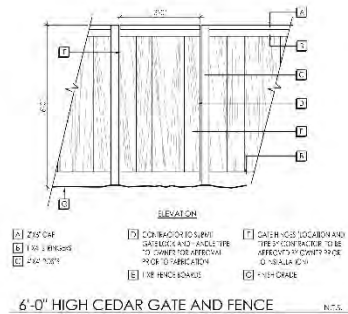
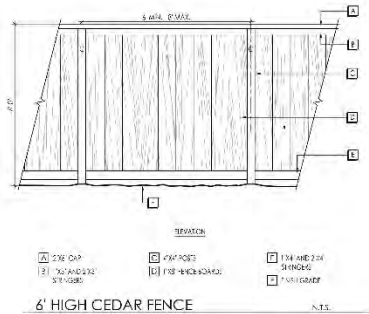
<b>LOT 1 - HYDROZONE 1</b> Overhead Spray System North Facing 2:1 Slope Crop Coefficient: C3 Area: 1,200 SF MAWA: 10,125 Gal/yr ETW: 10,251 Gal/yr	<b>LOT 3 - HYDROZONE 9B</b> Overhead Spray System West Facing 2:1 Slope Crop Coefficient: C3 Area: 127.0 SF MAWA: 1,077 Gal/yr ETW: 1,023 Gal/yr
<b>LOT 2 - HYDROZONE 2A</b> Overhead Spray System North Facing 2:1 Slope Crop Coefficient: C3 Area: 146.25 SF MAWA: 13,500 Gal/yr ETW: 9,834 Gal/yr	<b>LOT 3 - HYDROZONE 3C</b> Overhead Spray System North Facing 2:1 Slope Crop Coefficient: C3 Area: 491.0 SF MAWA: 7,033 Gal/yr ETW: 6,113 Gal/yr
<b>LOT 2 - HYDROZONE 2B</b> Overhead Spray System East Facing 2:1 Slope Crop Coefficient: C3 Area: 799.5 SF MAWA: 11,457 Gal/yr ETW: 8,336 Gal/yr	<b>LOT 4 - HYDROZONE 4</b> Overhead Spray System East Facing 2:1 Slope Crop Coefficient: C3 Area: 485.5 SF MAWA: 9,676 Gal/yr ETW: 7,957 Gal/yr
<b>LOT 3 - HYDROZONE 3A</b> Overhead Spray System East Facing 2:1 Slope Crop Coefficient: C3 Area: 1,423 SF MAWA: 21,710 Gal/yr ETW: 15,324 Gal/yr	<b>IRON YARDS - HYDROZONE 5</b> Subgrade Erosion System Full Sun Crop Coefficient: C3 Area: 494.5 SF MAWA: 45,229 Gal/yr ETW: 32,854 Gal/yr
<b>Total Maximum Applied Water Allowance (MAWA):</b> 117,982 Gal/yr	<b>DUE WAY PARKWAY - HYDROZONE 6</b> Subgrade Erosion System Full Sun Crop Coefficient: C3 Area: 494.5 SF MAWA: 5,941 Gal/yr ETW: 6,500 Gal/yr
<b>Total Estimated Total Water Use (ETW):</b> 85,805 Gal/yr	

**Irrigation & Water Conservation Notes**

- Prior to the approval of the building permit, a landscape documentation package shall be submitted to the City of Santee that demonstrates that the landscape associated with this application complies with the City of Santee Water Efficient Landscape Ordinance. The Landscape Documentation Package shall include the following items:
  - Water Efficient Landscape Worksheet (see Appendix B of the Water Efficient Landscape Ordinance)
  - Soil management report
  - Landscape irrigation plan
  - Irrigation design plan
  - Grading design plan
- Irrigation for the site shall utilize water saving systems such as low flow spray heads and soil moist irrigation, in compliance with the City of Santee Water Efficient Landscape Ordinance.
- The irrigation system shall also utilize water saving devices including flow-sensors, rain-sensing devices and automatic control systems that interface with CWMS data or on-site weather sensors.
- A 3" layer of organic mulch will be used where possible to reduce soil moisture loss.



**HYDROZONE MAP**



**LANDSCAPE FENCE DETAILS**

**PLANT MATERIAL LEGEND**

EXISTING PLANTS TO REMAIN:		Common Name	CC
Symbol	Botanical Name	Holly Cypress	CC
Symbol	Botanical Name	Yucca arborescens	L
ON-SITE SLOPES & EROSION CONTROL			
Symbol	Botanical Name	Common Name	CC
TREES:			
3 gallon root ball, such as:			
Symbol	Erigeron phillyria 'Mistaken'	Mistaken Garden Myrtle	M
15 gallon root ball, such as:			
Symbol	Arctostaphylos	N.C.N.	L
Symbol	Gelera parviflora	Australian Willow	L
Symbol	Rhus laevis	Alfalfa Sprout	L
LARGE ACCENT SHRUBS:			
3 gallon root ball, such as:			
Symbol	Echinops	Pink of Madras	L
Symbol	Trichostema hybridum	Texas Ranger	L
Symbol	Phoradendron	New Zealand Pine	L
LOW SPRAWLING SHRUBS:			
1 gallon root ball, such as:			
Symbol	Acacia retorta 'Green Carpet'	Desert Carpet Acacia	L
Symbol	Boerhaavia diffusa	Boerhaavia	L
Symbol	Croton macrocarpa 'Green Carpet'	Prostrate Nuttall Plum	USA
Symbol	Ceanothus glaucus 'Patrie Rex'	Patrie Texas Ceanoth	L
Symbol	Cistus hybridus	White Rock Cistus	L
FRONT YARD GROUND COVERS:			
Root cuttings planted in 2" x 4" on center:			
Symbol	Allypium Parviflorum 'Pukei Creek'	Prostrate Alypium	L
1 inch from fabric at 18" on center:			
Symbol	Carex pensis	Scout Dune Sedge	M
SLOPES GROUND COVERS:			
Root cuttings planted in 2" x 4" on center:			
Symbol	Lopola meiflora	Knapweed	L
Symbol	Allypium Parviflorum 'Pukei Creek'	Prostrate Alypium	L
Symbol	Senecio mandibolosa	Kelso	L
SLOPE HYDRO-SEED MIX:			
Symbol	Pyrus heterophylla 'Rio'	Charming wildrose	L
Symbol	Boerhaavia diffusa	California Booby	L
Symbol	Erodium cicutarium	Stitch needle	USA
Symbol	Lupinus hispidus	Soy Lupine	USA
Symbol	Alphitosea rigida	Deer Grass	USA
SMALL HYDRO-SEED MIX:			
Symbol	Achillea millefolium	Common Yarrow	L
Symbol	Pyrus heterophylla 'Canyon Prince'	Canyon Prince Yarrow	L
Symbol	Helianthus macrochrysis	Small Arrowweed	USA
Symbol	Juniperus spicata	California Gray Pine	L
CC	Indicates the Crop Coefficient, as defined in WECC-5 (Water Allocation of arid/semi-arid spaces) published by the University of California Cooperative Extension, California Department of Water Resources.		
NATURAL ORGANIC WALKWAYS:			
Symbol	mulch		

**PLANTING LEGEND**

**8732 PROSPECT AVENUE LANDSCAPE INFORMATION**

SANTEE, CALIFORNIA  
BY PALM TREE INVESTMENTS L.L.C.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE,  
CALIFORNIA APPROVING TENTATIVE PARCEL MAP (TPM2020-1) FOR A  
RESIDENTIAL SUBDIVISION CONSISTING OF FOUR-SINGLE FAMILY DWELLING  
UNITS LOCATED AT 8732 PROSPECT AVENUE IN THE LOW-MEDIUM DENSITY  
RESIDENTIAL (R-2) ZONE**

**APPLICANT: PALM TREE INVESTMENTS, LLC  
APN: 383-112-26  
RELATED CASE FILES: DR2020-1**

**WHEREAS**, on June 28, 2022, Palm Tree Investments, LLC submitted a complete application for a Tentative Parcel Map TPM2020-1 and a Development Review Permit DR2020-1 for the division of a 0.85-acre parcel of land into four separate parcels of land on property located at 8732 Prospect Avenue within the Low-Medium Density Residential (R-2) Zone; and

**WHEREAS**, the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning classification and regulations; and

**WHEREAS**, the site can be adequately served by all required utilities and public services; and

**WHEREAS**, the development site is located within Airport Influence Area 2 and does not require review by the Gillespie Field Airport Land Use Compatibility Plan (ALUCP); and

**WHEREAS**, the project furthers Objective 5.0 of the Housing Element which encourages a wide range of housing by location, type of unit, and price; and

**WHEREAS**, the subject 0.85-acre site is not on the Housing Element Sites Inventory and the project proposes a net gain of three residences (four minus demolition of one residence) that would be added to the City's housing stock; and

**WHEREAS**, the proposed project is exempt from the California Environmental Quality Act (CEQA) under Section 15315, Class 15 (Minor Land Division), of the CEQA Guidelines which involves the division of property into four or fewer parcels; and

**WHEREAS**, the Director of Development Services scheduled Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 for a January 11, 2023 public hearing; and

**WHEREAS**, on January 11, 2023 the City Council held a duly advertised public hearing on Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1; and

**WHEREAS**, the City Council considered the Staff Report, all recommendations by staff, public testimony, and all other relevant information contained in the administrative record regarding the Project.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, after considering the evidence presented at the public hearing, as follows:

**Section 1:** Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 are categorically exempt from the provisions of CEQA pursuant to Section 15315, Class 15 (Minor Land Division) of the CEQA guidelines which involves the division of property into four or fewer parcels.

**Section 2:** The findings, in accordance with the State Subdivision Map Act (Government Code Section 66410 et. seq.) and Chapter 12 of the Santee Municipal Code for Tentative Parcel Map TPM2020-1, are made as follows:

- A. The Tentative Parcel Map as conditioned is consistent with all Elements of the Santee General Plan because the site is planned and zoned R-2, Low-Medium Density Residential. This designation allows a residential density of 2 to 5 dwelling units per acre. The project proposes 4.7 units per acre, which falls within this density range.
- B. The design and improvements required of the proposed development are consistent with all Elements of the Santee General Plan as well as City Ordinances because all necessary services and facilities are, or will be, available to serve this subdivision.
  - 1. On-site drainage improvements will be provided as well as drainage fees (approximately \$13,612.00) will be paid for the increase in surface water run-off; and
  - 2. Traffic Impact, Traffic Signal and Regional Transportation Congestion Improvement Program fees (totaling approximately \$29,672.84) will be paid to mitigate the additional traffic resulting from this approval; and
  - 3. Park-In-Lieu fees (approximately \$36,684.00) toward the future construction of parks shall be provided to mitigate the impact on City parks; and
  - 4. Public Facilities fees (approximately \$30,472.00) will be paid to mitigate the additional impacts on public facilities from this approval.
- C. The site is physically suitable for the type of development and the density proposed, in that the site is large enough to accommodate four buildings with landscaping and private interior driveways in conformance with the R-2 zone development standards.
- D. The discharge of sewage waste from the subdivision into the Padre Dam Municipal Water District sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board specified by Health and Safety Code Section 5411 and Government Code Section 66474.6.
- E. The design of the Tentative Parcel Map is not likely to cause serious public health problems as City water service is available to the property and conditions of approval for the project require certification that the applicant reserve sewer capacity and make payment of fees to ensure adequate service to the new homes.
- F. The design of the Tentative Parcel Map or the proposed improvements are not likely

to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat because the development site has been disturbed, it is generally surrounded by existing development, and it is not located within a Preserve Area of the City's draft Multiple Species Conservation Program Subarea Plan.

- G. The design of the Tentative Parcel Map or the type of improvements have been conditioned to not conflict with any easement by the public at large, for access through, or use of property with the proposed subdivision as defined under Government Code Section 66474.
- H. The design of the subdivision has provided, to the extent feasible, for future passive or natural heating or cooling opportunities as defined under Section 66473.1 of the State Subdivision Map Act.
- I. The effects of the subdivision on the housing need for the San Diego region have been considered and balanced against the public service needs of the City of Santee residents and available fiscal and environmental resources. One residential unit will be removed and four residential units will be added, for a net increase of 3 dwelling units to the City's housing inventory.

**Section 3:** Tentative Map TPM2020-1 dated June 2, 2022 consisting of a four-lot subdivision of approximately 0.85 acres located at 8732 Prospect Avenue is hereby approved subject to the following conditions:

- A. The applicant shall obtain approval of Development Review Permit DR2020-1.
- B. Minor and Major Revisions to the Tentative Map shall be reviewed by the Department of Development Services – Engineering Division for substantial conformance and approved by the Director of Development Services, unless, in the Director's judgement, a Major Revision should be reviewed by City Council.
- C. Prior to approval of the Final Map, unless other timing is indicated, the subdivider shall complete the following, or have plans submitted and approved, agreements executed and securities posted:
  - 1. Following project approval, the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction and implementation of the project conditions. The meeting shall be scheduled within thirty days of project approval and prior to any plan submittals. The applicant should include their project design team including project architect, their design engineer and their landscape architect.
  - 2. The applicant shall include provisions in their design contract with their design consultants that following acceptance by the City, all construction drawings or technical reports accepted by the City, exclusive of architectural building plans, shall become the property of the City. Once accepted, these plans may be freely used, copied or distributed by the City to the public or other agencies as the City may deem appropriate. An acknowledgement of this requirement from the design consultant shall be included on all construction drawings at the time of plan

submittal.

3. To coordinate with the City Geographic Information System, horizontal and vertical control for all construction drawings, grading plans, landscape plans, street improvement plans, plot plans, etc., shall be obtained from ROS 11252. All plans, exclusive of the map and building plans, shall be prepared at an engineering scale of 1" = 20' unless otherwise approved by the project engineer.
4. If plans are prepared in digital format using computer aided drafting (CAD), then in addition to providing hard copies of the plans the applicant shall submit a copy of the plans in a digital .DXF file format at the time of its approval or as requested by the Director of Development Services. The digital file shall be based on accurate coordinate geometry calculations. The digital file for the final map shall specifically include each of the following items in a separate layer:
  - a. Lot boundaries.
  - b. Lot numbers.
  - c. Subdivision boundary.
  - d. Right-of-way.
  - e. Street centerlines, and
  - f. Approved street names.
5. Obtain the basis of bearings for the Final Map from ROS 11252. Monumentation shall be the Santee Municipal Code and shall be to the satisfaction of the Director of Development Services.
6. Parcel Map shall be submitted to the Department of Development Services Engineering Division. The first and last submittal of the map shall be made by appointment only with the City project engineer administering the map review. Submittal requirements are listed below. Incomplete submittals will not be accepted for plan check.

Please include the following with the first submittal:

- a. Two sets of prints bound and stapled.
- b. Two copies of a current preliminary title report (dated within six months of submittal date).
- c. Two copies of all documents listed in the preliminary title report.
- d. Two copies of all reference maps used to prepare the final map.
- e. Two copies of closure calculations for the map.
- f. One copy of the Resolution of Approval or Director's Decision approving the project.
- g. Map check fees per the latest Fee Schedule.

Please include the following with the last submittal (signature submittal):

- a. Previous submittal check prints.
- b. Two sets of prints bound and stapled.
- c. Two copies of the map in Autocad format on separate disk, CD or DVD for

- incorporation into the City GIS data base.
- d. Mylars of the map with all required signatures and notaries obtained including Padre Dam Municipal Water District if they are to sign the map.
  - e. Copies of certified return receipts for all signature omission letters.
  - f. Subdivision Map Guarantee.
7. Starting with the first plan check submittal, all plan sets including the Parcel Map shall be submitted concurrently to Padre Dam Municipal Water District for review and approval. The City does not coordinate the review process with Padre Dam, this is the responsibility of the design engineer and the landscape architect. Failure to properly coordinate this review may result in delay of issuance of permits required for construction. It is incumbent upon the applicant to oversee the plan submittals of their design consultants.
8. Street Improvement Plans shall be submitted to the Department of Development Services Engineering Division and be completed and accepted prior to issuance of a building permit.

Prior to the start of construction of any improvements, public or private, within the limits of the public right-of-way, the applicant shall have plans accepted, agreements executed, securities posted and an Encroachment Permit issued. All improvements shall be installed in accordance with City standards and at the applicant's cost unless otherwise indicated. The following improvements are conditioned as part of this development:

- a. Provide public improvements on the north side of Prospect Avenue to include a paved width of 32 feet from the centerline, concrete curb and gutter, street lights, drainage facilities, pedestrian facilities and landscaping.
- b. Remove the existing street light located on the wooden pole and install a concrete pole street light in the ultimate right-of-way in the vicinity of the northwest corner of Prospect Avenue and Our Way to the satisfaction of the City Engineer.
- c. Construct a modified PW-21 driveway entrance to the centerline of Our Way to the satisfaction on the City Engineer.
- d. Construct transitions beyond the widening of the north side of Prospect Avenue at the property's eastern and western boundaries to the meet the existing improvements. The western 10' right-of-way boundary shall include a retaining wall to capture the height difference and a fall protection barricade. Provide an asphalt berm with breaks along Prospect Avenue to address drainage and protect existing power poles. Transitions shall be to the satisfaction of the City Engineer.
- e. Construct drainage improvements on the north side of Prospect Avenue to accommodate the street runoff from the upstream tributary area, including the proposed widened area on Prospect Avenue. Include installation of a water quality treatment facility to treat the new impervious areas. Maintenance of this

treatment area shall be the privately maintained and the sole responsibility of the adjoining property owner. Construct improvements on the west side of Our Way including curb cuts, vegetated swales, and energy dissipators to convey the existing off-site flows to discharge at the property's northeasterly corner as it currently drains. Construct a decomposed granite walkway along Our Way to provide pedestrian access into the development. Maintenance of the vegetated swales and energy dissipators shall be privately maintained and the sole responsibility of the adjoining property owner(s).

- f. Replace failed or inadequate pavement to the centerline of the street and failed or inadequate sidewalks on Prospect Avenue to the satisfaction of the City Engineer. Disturbed pavement on Our Way shall be restored to the centerline of the existing access easement.
- g. Street improvement plans shall be one hundred percent (100%) complete at the time of plan submittal, be prepared in accordance with City guidelines and the requirements set forth herein, and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan check submittal, the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the improvement plan submittal package:
  - 1) Six sets of plans bound and stapled.
  - 2) Plan check fees.
  - 3) Preliminary cost estimate for the improvements.
  - 4) One copy of the Resolution of Approval approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule.

- 9. Precise Grading Plans may be submitted to the Department of Development Services Engineering Division and accepted prior to map recordation. The following conditions shall apply to acceptance of the Grading Plans and issuance of a Grading Permit:
  - a. Project landscape and irrigation plans for all slope planting on all slopes over three feet in height shall be included in the grading plan set and shall be prepared at the same scale as the grading plans 1" = 20'.
  - b. Project improvement plans shall be completed to the satisfaction of the Director of Development Services and ready for approval prior to issuance of a grading permit. Plans shall be prepared at a scale of 1" = 20'.
  - c. Precise grading plans shall be completed and approved prior to issuance of any building permits or start of construction of the street improvements.
  - d. Obtain a grading permit and complete rough grading in accordance with City standards prior to the issuance of any building permits.



- e. All recommended measures identified in the approved geotechnical and soil investigation shall be incorporated into the project design and construction.
- f. The grading plans shall be prepared at a scale of 1" = 20'. Plans shall include a note that requires immediate planting of all slopes within 60 days following installation of water mains to serve the project. Slope planting shall be fully established prior to occupancy of any unit.
- g. Grading plans shall include preliminary recommendations for all pavement design sections within the project limits. The pavement structural section shall be designed based on the "R" value method using a minimum traffic index of 5.0. Structural sections shall consist of asphalt concrete over approved aggregate base material. Minimum concrete section shall be 5 1/2 inches PCC over compacted, non-expansive soil. Mix design shall be a minimum class 520-C-2500. R-value test data and design calculations shall be submitted for approval to the Department of Development Services Engineering Division a minimum of seven days prior to placement of paving. The pavement design report shall conform to City of Santee Form 435 – PAVEMENT DESIGN AND R-VALUE TEST SUBMITTAL PROCEDURES.
- h. Excess soil generated from the project shall be hauled to a legal dumping site as approved by the City Engineer. Import soils shall be tested by a soils engineer and approved by the City Engineer prior to import, and applicant shall obtain a repetitive haul permit from the Engineering Division in Development Services.
- i. Grading plans shall be one hundred percent complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. At the time of plan submittal the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the grading plan submittal package:
  - 1) Six sets of plans bound and stapled (grading and landscape).
  - 2) Plan check fees.
  - 3) A completed grading permit application.
  - 4) A cost estimate for the cost of construction.
  - 5) Two copies of the Drainage Study specified here within.
  - 6) Two copies of the Geotechnical Study specified here within.
  - 7) Two copies of the Storm Water Quality Management Plan specified here within.
  - 8) Two copies of an Operation & Maintenance (O&M) plan specified her within.
  - 9) A copy of any letters of permission from any adjoining property owners if grading is proposed off-site. Letters shall be in a form acceptable to the City.
  - 10) A letter of acknowledgement, signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.
  - 11) One copy of the Resolution of Approval approving the project.

All grading shall be completed to the satisfaction of the Director of Development Services. Plan check and inspection fees shall be paid in accordance with the City Fee Schedule.

10. The applicant shall notify all contractors, subcontractors and material suppliers that the following work schedule restrictions apply to this project:
  - a. No site work, building construction, or related activities, including equipment mobilization will be permitted to start on the project prior to 7:00 am and all work for the day shall be completed by 7:00 pm.
  - b. No work is permitted on Sundays or City Holidays.
  - c. No deliveries, including equipment drop off and pick-up, shall be made to the project except between the hours of 8:00 am and 6:00 pm, Monday through Saturday, excluding City Holidays. Deliveries of emergency supplies or equipment necessary to secure the site or protect the public are excluded.
  - d. If the applicant fails or is unable to enforce compliance with their contractors, subcontractors and material suppliers regarding the specified work hours, a reduction of permissible work hours may be imposed by the City Engineer.

In addition to the above the applicant shall erect one or more signs stating the work hour restrictions. Signs shall be installed as may be required, in the vicinity of the project construction trailer if a job site trailer is used, or at such other locations as may be deemed appropriate by the Department of Development Services. The sign shall be a minimum of 24" x 36" and shall be weather proofed. The sign content shall be provided by the Department of Development Services.

11. Trench work when required within City streets shall be completed within two weeks of the initial start date, including placement of the final trench patch. Trench plates or temporary pavement placement shall be installed at the end of each work day. Advance warning signs on lighted barricades notifying the public of trench plates and or uneven pavement shall be placed and maintained until permanent pavement repairs are made. The maximum length of time including weekends and holidays that trench plates may remain on the street is 72 hours after which temporary or permanent asphalt paving shall be placed.
12. Applicant consents to annexation of the property under development to the Santee Roadway Lighting District and agrees to waive any public notice and hearing of the transfer. Applicant shall pay the necessary annexation costs and upon installation of any street lights required for the development, pay the necessary street light energizing and temporary operating costs.
13. A grading permit to allow early subdivision grading in accordance with Section 11.40.155 of the Grading Ordinance may be obtained following approval of the tentative map.

14. Provide two copies of a drainage study prepared by a registered Civil Engineer, with demonstrated expertise in drainage analysis and experience in fluvial geomorphology and water resources management. Storm drainage shall be designed to adequately convey storm water runoff without damage or flooding of surrounding properties or degradation of water quality.
  - a. The drainage study shall identify and calculate storm water runoff quantities expected from the site and upstream of the site and verify the adequacy of all on-site or off-site facilities necessary to discharge this runoff. The drainage system design shall be capable of collecting and conveying all surface water originating within the site, and surface water that may flow onto the site from upstream lands, and shall be in accordance with the latest adopted Master Drainage Plan, the requirements of the City of Santee Public Works Standards, including analysis of the 10-year, 50-year and 100-year frequency storms, and be based on full development of upstream areas.
  - b. The drainage study shall compute rainfall runoff characteristics from the project area including, at a minimum, peak flow rate, flow velocity, runoff volume, time of concentration, and retention volume. These characteristics shall be developed for the 10-year, 50-year and 100-year frequency six-hour storm during critical hydrologic conditions for soil and vegetative cover. Storm events shall be developed using isopluvial maps and in accordance with the San Diego County Hydrology Manual.
15. Provide two copies of a Storm Water Quality Management Plan (SWQMP) prepared and in accordance with the City of Santee Storm Water Ordinance and in accordance with the City of Santee Best Management Practices (BMP) Design Manual dated February 2016. The SWQMP must include best management practices (BMPs) to address water quality and hydromodification. An Operation and Maintenance Plan describing maintenance requirements and costs for BMP maintenance and provision of maintenance verification will be provided.

The SWQMP shall include the following:

- a. Develop and implement appropriate Best Management Practices (BMPs) to ensure that the project does not increase pollutant loads from the site. A combination of respective storm water BMPs, including Site Design, Source Control, and Structural Treatment Control shall be implemented in accordance with the approved SWQMP.
- b. The project design shall incorporate Low Impact Development (LID) and site design BMPs to minimize directly connected impervious areas and to promote infiltration using LID techniques as outlined in the County of San Diego's LID handbook. Parking areas shall be designed to drain to landscape areas. Private roads shall be designed to drain to vegetated swales or landscaped areas.

- c. The site shall comply with full trash capture requirements by providing completely enclosed trash and recycling enclosures, and fitting all storm drain inlets with a State certified grate/screen or trash rack. Said devices must be designed to capture debris of 5 mm or greater, while preventing flooding potential. In addition, any adjacent public storm drain inlet structure to which the site discharges must also be retrofitted with trash capture devices. The device which shall be used for public inlets is the ADS FlexStorm Connector Pipe Screen system or approved equal.
- d. All inlets must be labeled with concrete stamp or equivalent - stating, "No Dumping - Drains to River". If work is performed on a public inlet, the public inlet must be labeled with the following standard specification: Public storm drain inlet markers shall be 4" diameter, stainless steel, natural embossed, inlet marker as manufactured by Almetek Industries or approved equal. Marker shall contain/state "No Dumping" with "Fish w/ Wave" symbol and "Drains to Waterways" legend. Marker shall contain 2" long x 1/4" diameter threaded rod and shall be installed flush and wet-set in top of inlet, centered on width of inlet opening.
- e. Down spouts and HVAC systems are not permitted to be connected to any storm drain conveyance system. All non-storm water discharges must either drain to landscaped areas, or be plumbed to the sewer.
- f. Fire suppression systems must be designed to be able to discharge to a sewer clean out for all maintenance and testing activities, or otherwise captured and contained on-site.
- g. California native/drought-tolerant plants shall be used to the maximum extent feasible to minimize the need for irrigation. Where irrigation is necessary, then the system shall be designed and installed to prevent overspray or irrigation runoff during normal operations and during a break in the line.
- h. The final project submittal shall include a standalone Operation and Maintenance (O&M) Plan in accordance with the City of Santee BMP Design Manual.

16. Prior to Occupancy:

- a. Provide two print copies and a digital copy of both the final approved Storm Water Quality Management Plan and the Operation and Maintenance Plan.
- b. Submit a print and digital copy of the BMP Certification package. The BMP certification package includes but is not limited to: 'wet' signed and stamped certification form(s), all BMP related product receipts and materials delivery receipts, an inspection and installation log sheet, and photographs to document each stage of BMP installation.
- c. Prior to issuance of the final phase of occupancy, a copy of the SWQMP

shall be provided to the owners.

17. A Storm Water Facilities Maintenance Agreement accepting responsibility for all structural BMP maintenance, repair and replacement as outlined in said O&M plan binding on the land throughout the life of the project will be required prior to issuance of building permit.

- a. The owner of Parcel 1 shall maintain the biofiltration treatment BMP on the north side of Prospect Avenue, and the 4' DG sidewalk and 4' vegetated swale fronting Parcel 1.
- b. The owner of Parcel 4 shall maintain the 4' vegetated swale and rip-rap energy dissipator fronting Parcel 4.
- c. Each parcel owner shall maintain 2 tree wells located on the property and the grasscrete area adjacent to each driveway.

18. Provide two copies of geotechnical study prepared in accordance with the requirements of the Santee General Plan. The study will be subject to independent third-party review to be paid for by the applicant. The applicant shall place a cash deposit with the Department of Development Services in an amount satisfactory to the Director of Development Services to cover the cost of the review. All recommended measures identified in the approved study shall be incorporated into the project design. Copies of the Geotechnical/Seismic Hazard Study for the Safety Element of the Santee General Plan which details, in Table A-1, study criteria necessary to conform to the General Plan requirements, can be purchased from the Department of Development Services Engineering Division.

- a. The geotechnical report shall analyze any proposed infiltration techniques (trenches, basins, dry wells, permeable pavements with underground reservoir for infiltration) for any potential adverse geotechnical concerns. Geotechnical conditions such as: slope stability, expansive soils, compressible soils, seepage, groundwater depth, and loss of foundation or pavement subgrade strength should be addressed, and mitigation measures provided.

19. The applicant shall make the following conveyances on the parcel map:

- a. Dedicate 12 feet of right-of-way along Prospect Avenue adjacent to the site such that the ultimate right-of-way width to centerline is 42 feet.
- b. Dedicate a flowage easement a minimum width of along Our Way to the City of Santee.
- c. Reserve a 40-foot wide reciprocal access easement over the flag portion of Parcels 2 and 3.

20. Prior to occupancy, provide copies of the following private easement prepared to the satisfaction of the City Engineer:

- a. A reciprocal access easement over the flag portion of Parcels 2 and 3 to provide a minimum 40-foot wide driveway.

21. Applicant shall place all new utilities required to serve the project underground. No overhead facilities or extension of overhead facilities is permitted.

If in the opinion of the City Engineer under grounding is not practical, the applicant shall make an in-lieu cash deposit towards the future under grounding of the existing facilities. The deposit amount shall be determined by multiplying the length of property frontage on Prospect Avenue by an appropriate cost per linear foot to underground in effect at the time of occupancy as determined by the Director. The current deposit rate is \$ 689.28/linear foot.

22. Provide certification to the City Engineer that sewer and water can be provided to the site and that financial arrangements have been made to provide said services. Private sewer and water mains shall require a building permit for these facilities and they shall be privately maintained.

23. The applicant shall comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee.

**Section 4:** The terms and conditions of the Tentative Parcel Map approval shall be binding upon the permittee and all persons, firms and corporations having an interest in the property subject to this Tentative Parcel Map and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

**Section 5:** The approval of the Tentative Parcel Map TPM2020-1 expires on January 11, 2026 at 5:00 p.m. The Final Map conforming to this conditionally approved Tentative Map TPM2020-1 shall be filed with the City Council in time so that City Council may approve the Final Map before this approval expires unless a time extension for obtaining such approval of the Final Map is approved as provided by the Santee Subdivision Ordinance. The City Council expressly grants to the Director of Development Services the authority to extend the expiration date of this approval pursuant to the California Subdivision Map Act and Section 13.04.090.B of the Santee Municipal Code, when a request for an extension is filed 60 days prior to the original expiration date.

**Section 6:** Pursuant to Government Code Section 66020, the 90 day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exactions imposed pursuant to this approval, shall begin on January 11, 2023.

**Section 7:** The applicant shall defend (with counsel of City's choice, subject to reasonable approval by the applicant) the City of Santee and its officers, employees and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack, or set aside, void, or annul the approval of the City of Santee concerning this Resolution or any action relating to or arising out of its approval, and further agrees to indemnify and hold harmless from all costs and expenses (including attorney's fees) associated with any such defense.

**Section 8:** The City of Santee hereby notifies the applicant that State Law (SB1535) authorizes the County Clerk to collect a documentary handling fee for the processing of CEQA documents. In order to comply with State Law, the applicant should remit to the City of Santee Department of Development Services, within two (2) working days of the effective date of this approval (the "effective date" being the end of the appeal period, if applicable), a certified check payable to the "County Clerk" in the amount of \$ 50.00. The City of Santee shall file the Notice of Exemption with the County Clerk upon receipt of the certified check. Failure to remit the required fee in full within the time specified above will result in a delay of the start of the thirty-five (35) day statute of limitations on court challenges to the approval under CEQA.

**Section 9:** The documents and materials that constitute the record of proceedings on which these findings have been based are located with the City Clerk at the City of Santee City Clerk's office at 10601 Magnolia Avenue, Building #3, Santee, CA 92071.

**ADOPTED** by the City Council of Santee, California, at a Regular meeting held this 11th day of January 2023, by the following roll call vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**JOHN W. MINTO, MAYOR**

**ATTEST:**

\_\_\_\_\_  
**ANNETTE ORTIZ, CMC, CITY CLERK**

RESOLUTION NO. \_\_\_\_\_

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE,  
CALIFORNIA APPROVING DEVELOPMENT REVIEW PERMIT (DR2020-1) FOR A  
RESIDENTIAL SUBDIVISION CONSISTING OF FOUR-SINGLE FAMILY DWELLING  
UNITS LOCATED AT 8732 PROSPECT AVENUE IN THE LOW-MEDIUM DENSITY  
RESIDENTIAL (R-2) ZONE**

**APPLICANT: PALM TREE INVESTMENTS, LLC  
APN: 383-112-26  
RELATED CASE FILES: TPM2020-1**

**WHEREAS**, on June 28, 2022, Palm Tree Investments, LLC submitted a complete application for a Tentative Parcel Map TPM2020-1 and a Development Review Permit DR2020-1 for the division of a 0.85-acre parcel of land into four separate parcels of land on property located at 8732 Prospect Avenue within the Low-Medium Density Residential (R-2) Zone; and

**WHEREAS**, the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning classification and regulations; and

**WHEREAS**, the development site is located within Airport Influence Area 2 and does not require review by the Gillespie Field Airport Land Use Compatibility Plan (ALUCP); and

**WHEREAS**, the project furthers Objective 5.0 of the Housing Element which encourages a wide range of housing by location, type of unit, and price; and

**WHEREAS**, the subject 0.85-acre site is not on the Housing Element Sites Inventory and the project proposes a net gain of three residences (four minus demolition of one residence) that would be added to the City's housing stock; and

**WHEREAS**, the proposed project is exempt from the California Environmental Quality Act (CEQA) under Section 15315, Class 15 (Minor Land Division), of the CEQA Guidelines which involves the division of property into four or fewer parcels; and

**WHEREAS**, the Director of Development Services scheduled Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 for a January 11, 2023 public hearing; and

**WHEREAS**, on January 11, 2023 the City Council held a duly advertised public hearing on Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1; and

**WHEREAS**, the City Council considered the Staff Report, all recommendations by staff, public testimony, and all other relevant information contained in the administrative record regarding the Project.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, after considering the evidence presented at the public hearing, as follows:

**Section 1:** Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 are categorically exempt from the provisions of CEQA pursuant to Section 15315, Class



**RESOLUTION NO. \_\_\_\_\_**

15 (Minor Land Division) of the CEQA guidelines which involves the division of property into four or fewer parcels.

**SECTION 2:** The findings in accordance with Section 13.08.080 of the Santee Municipal Code (SMC) for a Development Review Permit are made as follows:

- A. That the proposed project, as conditioned, meets the purpose and design criteria prescribed in the Zoning Ordinance and the Municipal Code because all development standards are met, including density, lot size and dimensions, landscaping, building setbacks and height, the project design is consistent with the requirements of the Fire Code, and all proposed private improvements will meet the public works standards of the City. The project proposes 4.7 units per acre which is within the allowed density range of 2 to 5 dwelling units per acre within the R-2 zone. The proposed development is compatible with the existing single-family residential developments in the area and is compatible with the Development Review criteria contained in section 13.08.070 of the Municipal Code. The proposed maximum building height of 25 feet 6 inches would be below the maximum height allowed in the R-2 zone, which is 35 feet or three stories. Two-car garages are provided for each unit, which meets the City's parking requirements.
  
- B. That the proposed development conforms to the Santee General Plan. The proposed residential units are permitted within the R-2 Medium Density Residential land use designation and R-2 Medium Density Residential zoning classification of the subject site. The project is consistent with the Objective 5.0 of the Housing Element which encourages a wide range of housing by location, type of unit, and price. It also supports the Mobility Element Objective 4.0 which desires to maximize the utilization of site planning techniques to improve traffic safety. Policy 4.1 of the Mobility Element encourages new subdivision development be designed so that driveways do not take direct access from prime arterials, major roads, or collector streets. Vehicle access will be provided from Our Way a private residential street.

**SECTION 3:** The Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1 for a residential project consisting of a four-lot subdivision located at 8732 Prospect Avenue is hereby approved subject to the following conditions:

- A. The applicant shall obtain approval of Tentative Parcel Map TPM2020-1.
  
- B. Prior to Building Permit Issuance:
  - 1. All construction shall be in substantial conformance with the approved plans dated June 2, 2022, as amended by this Resolution.
  
  - 2. Following project approval the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction and implementation of the project conditions. The meeting shall be scheduled within 30 days of project approval and prior to any plan submittals. The applicant should include their project design team including project architect, their design engineer and their landscape architect.

**RESOLUTION NO. \_\_\_\_\_**

3. The submitted building plans shall be in substantial conformance with the approvals and conditions of approval for Tentative Parcel Map TPM2020-1 and Development Review Permit DR2020-1.
4. Minor or Major Revisions to the Development Review Permit, such as changes to the building elevations, site design, or landscaping design, shall be approved by the Director of Development Services unless in the Director's judgment a Major Revision should be reviewed by the City Council.
5. The garage for each dwelling unit shall be a minimum interior dimension of 20 feet by 20 feet in accordance with Section 13.24.030(B)(1)(d) of the SMC. An additional 10 square feet shall be provided if individual trash bins are placed inside the garage in accordance with SMC Section 13.10.040(I).
6. The applicant shall install rain gutters and a rainwater harvesting system for each dwelling unit, subject to review and approval by the Director of Development Services.
7. The applicant shall include a roof-mounted solar photo-voltaic system to the maximum feasible extent given roof space or as required by the current California Code of Regulations Title 24 at the time of building permit issuance.
8. Each garage shall be installed with complete 40-amp electrical service and minimum AC Level 2 electrical vehicle charging station.
9. All perimeter and retaining walls shall be of a decorative material, such as of a split-face finish, and the final color and material selection shall receive the approval of the Director of Development Services.
10. A six-foot high decorative masonry wall shall be installed along the southern side of the project site along Prospect Avenue.
11. Submit a landscape plan that meets the requirements of the City' Water Efficient Landscape Ordinance (Chapter 13.36 of the SMC).
12. The applicant shall provide irrigated landscaping along Prospect Avenue between the block wall and the sidewalk to the satisfaction of the Director of Development Services.
13. A bond, equal to the cost of full landscape installation shall be deposited with the Department of Development Services and retained for a minimum of one year or until the landscaping is established to the satisfaction of the Director of Development Services.
14. The applicant shall submit for approval of the Director of Development Services all materials, notices, wordings, etc. for the purposes of public disclosure to homeowners of any and all present or anticipated future assessment districts.

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15. Provide a Construction and Demolition debris deposit as required by Chapter 9.04 of the SMC.
16. Applicant obtain parcel map approval and record the parcel map. Once recorded, the applicant shall within thirty days of recordation, provide one mylar copy of the recorded map to the Department of Development Services Engineering Division together with three printed copies of the map for the City's permanent record. The prints and mylar shall be in accordance with City standards.
17. Precise Grading Plans shall be submitted to the Department of Development Services Engineering Division and be completed and accepted prior to issuance of any building permits or start of construction of the street improvements. The plans shall be prepared at a scale of 1" = 20'. Plan format and content shall comply with Engineering Division standards.
18. Following issuance of a grading permit the applicant shall complete rough grading in accordance with the approved grading plans and the recommendations of the project's geotechnical engineer. Following completion of the rough grading and prior to issuance of any building permits, provide three originals of a rough grading report, which shall include a compaction report prepared by the geotechnical engineer, and a certification by the project civil engineer that all property corners, slopes, retaining walls, drainage devices and building pads are in conformance with the approved grading plans.
19. The applicant shall pay all development impact fees in effect at the time of issuance of building permits. At present, the fees are estimated to be as follows:

a. Drainage . . . . .	\$ 13,612	or	\$3,403/unit (estimated)
b. Traffic . . . . .	\$ 17,148	or	\$4,287/unit
c. Traffic Signal . . . .	\$ 1,772	or	\$443 /unit
d. Park-in-Lieu . . . . .	\$ 36,684	or	\$9,171/unit
e. Public Facilities . .	\$ 30,472	or	\$7,618/unit
f. RTCIP Fee . . . . .	\$ 10,752.84	or	\$2,688.21/unit

Impact fee amounts shall be calculated in accordance with current fee ordinances in effect at the time of issuance of building permit. The drainage fee shall be calculated based on the actual impermeable area created by the Project including off-site street improvements or other improvements beyond the Project boundary. The applicant shall provide certification of final site and building areas by their engineer of work to be approved by the Director of Development Services for use in calculating the final fee amounts. Fees shall be adjusted on an annual basis in the accordance with the Municipal Code.

20. Provide a minimum 26' wide, paved "fire lane" access roadway through the development. The fire lane width shall be measured curb to curb (or edge of pavement to edge of pavement) and shall extend vertically from grade to the highest point of any structures or obstacles constructed adjacent to the fire

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lane.

21. Fire apparatus turnarounds are required for the project. Turnarounds shall meet the minimum turning radius and lengths required for emergency apparatus throughout the site as determined by the Fire Marshall.
22. Fire hydrants shall comply with the 2019 Fire Code. Fire hydrants shall be of all bronze construction, painted "fire hydrant yellow" and be installed per Padre Dam Water District requirements. The hydrants shall be protected from vehicular damage with bollards or other approved means. All underground utilities including fire mains, fire hydrants and fire service underground devices shall be installed and approved prior to the delivery of construction materials.
23. Address numbers shall be placed near the front door of each unit visible from the street or private drive. Numbers shall be block style, a minimum of 4" in height, black in color (or other approved color), in contrast with their background. In multifamily residential developments, address numbers shall also be placed at an approved location on the garage side of each unit.
24. The buildings shall be installed with automatic fire sprinklers in accordance with NFPA 13D. The fire sprinkler systems shall be installed by a licensed fire sprinkler contractor. Separate plans are required to be submitted to the Fire Department for approval prior to installation. The fire sprinkler systems are required to be monitored by an approved central station monitoring company. Santee Fire Department has a policy for the installation of automatic residential fire sprinkler systems to include protection for under-stair storage areas where children may hide in the event of a fire.

**D. Prior to Grading Permit Issuance:**

1. At least 10 days prior to any grading activity all property owners and tenants 300 feet from the project site shall receive a notice of the slated grading activity that includes a project timeline and the contact information, including telephone number and e-mail address, for the site construction superintendent where comments and complaints can be lodged. The mailing shall be coordinated with the Project Planner. The City will prepare the notice and mailing; however, the project proponent is responsible for the postage. In addition, a 4'x8' temporary sign shall be placed on the property in a location visible from Prospect Avenue containing the same information as the aforementioned notice.

**E. During construction:**

1. The sawing of roof tiles is prohibited on the roof. Roof tiles must be cut on the ground with a wet saw.

**F. Prior to obtaining occupancy the following actions shall be taken:**

1. Complete construction of all improvements shown on the approved plans to the satisfaction of the Director of Development Services.

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2. Plant all new trees in and within 10 feet of the public right-of-way with root control barriers.
  3. At the time of mid-construction, or Rough Fire Inspections, a digital CAD drawing of the site-plan shall be provided electronically or on digital media to the Fire Department for emergency response mapping. If CAD drawings are not available, a PDF shall be provided. The site plan shall show all fire access roadways/driveways, buildings, address numbers, fire hydrants, fire sprinkler connections, and other details as required. Please contact the Fire Department for exact details to be submitted for your project.
  4. The applicant shall obtain final clearance for occupancy by signature on the final inspection request form from the Building Division, Fire Department and the Planning and Engineering Divisions of the Department of Development Services.
  5. Provide two print copies and a digital copy of both the final approved Storm Water Quality Management Plan and the Operation and Maintenance Plan.
  6. Submit a print and digital copy of the BMP Certification package. The BMP certification package includes but is not limited to: "wet signed and stamped certification form(s), all BMP related product receipts and materials delivery receipts, an inspection and installation log sheet, and photographs to document each stage of BMP installation.
  7. Prior to issuance of the final phase of occupancy, an executed contract must be in place with a qualified storm service provider and a copy of the SWQMP provided to the consultant and the HOA.
  8. Complete construction of all improvements shown on the approved plans to the satisfaction of the Director of Development Services.
- G. Upon establishment of the use pursuant to this Development Review Permit the following conditions shall apply:
1. All required landscaping shall be adequately watered and maintained in a healthy and thriving condition, free from weeds, trash, and debris.
  2. The parking areas and driveways shall be well maintained.
  3. All groundcover installed pursuant to an approved landscape plan shall provide 100 percent coverage within 9 months of planting or additional landscaping, to be approved by the Director of Development Services, shall be required in order to meet this standard. The developer shall be responsible for this planting even if their involvement in the project is otherwise complete.
  4. All storm water best management practices (BMPs) outlined in the Storm Water Management Plan must be installed and operational to the satisfaction

**RESOLUTION NO. \_\_\_\_\_**

of the Director of Development Services. Failure to maintain a required BMP will subject property owners to civil penalties.

5. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from any adjoining premises, and shall otherwise conform to the requirements of Title 13 of the Santee Municipal Code.

**SECTION 4:** The terms and conditions of this Development Review Permit DR2020-1 shall be binding upon the permittee and all persons, firms and corporations having an interest in the property subject to this Development Review Permit DR2020-1 and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

**SECTION 5:** This Development Review Permit DR2020-1 expires on January 11, 2026 at 5:00 p.m. unless prior to that date a Final Map has been recorded pursuant to Tentative Parcel Map TPM2020-1, or unless a time extension for obtaining such approval of the Final Map is approved as provided by the Santee Subdivision Ordinance. The City Council expressly grants to the Director of Development Services the authority to extend the expiration date of this approval pursuant to Section 13.04.090.B of the Santee Municipal Code, when a request for an extension is filed 60 days prior to the original expiration date.

**SECTION 6:** Pursuant to Government Code Section 66020, the 90-day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exaction imposed pursuant to this approval, shall begin on January 11, 2023.

**SECTION 7:** The applicant shall defend, indemnify, and hold harmless the City of Santee and its officers, employees and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack or set aside, void, or annul the approval of the City of Santee concerning this Resolution or any action relating to or arising out of its approval.

**SECTION 8:** The City of Santee hereby notifies the applicant that State Law (SB1535) authorizes the County Clerk to collect a documentary handling fee for the processing of CEQA documents. In order to comply with State Law, the applicant should remit to the City of Santee Department of Development Services, within two (2) working days of the effective date of this approval (the "effective date" being the end of the appeal period, if applicable), a certified check payable to the "County Clerk" in the amount of \$ 50.00. The City of Santee shall file the Notice of Exemption with the County Clerk upon receipt of the certified check. Failure to remit the required fee in full within the time specified above will result in a delay of the start of the thirty-five (35) day statute of limitations on court challenges to the approval under CEQA.

**SECTION 9:** The documents and materials that constitute the record of proceedings on which these findings have been based are located with the City Clerk at the City of Santee City Clerk's office at 10601 Magnolia Avenue, Building #3, Santee, CA 92071.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular

**RESOLUTION NO. \_\_\_\_\_**

Meeting thereof held this 11<sup>th</sup> day of January 2023, by the following roll call vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**APPROVED:**

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**JOHN W. MINTO, MAYOR**

**ATTEST:**

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**ANNETTE ORTIZ, CMC, CITY CLERK**

**MEETING DATE** January 11, 2023

**ITEM TITLE** INTRODUCTION AND FIRST READING OF AN ORDINANCE TO ADD SECTION 7.20.100 TO THE SANTEE MUNICIPAL CODE TO PROTECT THE SAN DIEGO RIVER CORRIDOR; FINDING THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) INAPPLICABLE OR RELYING ON A CEQA EXEMPTION PER STATE CEQA GUIDELINES SECTIONS 15307 AND 15308

**DIRECTOR/DEPARTMENT** – Shawn Hagerty, City Attorney

**SUMMARY**

The San Diego River Corridor is an extremely valuable common resource for the residents of the City of Santee and the County of San Diego, as well as visitors to Santee. The City is committed to maintaining the San Diego River Corridor as a safe, clean, and healthy common resource for all of its users. However, the area is vulnerable to the human-caused risks of fires, flooding, water pollution and habitat degradation. The City intends to mitigate and prevent these risks by preventing the activities that create them.

The proposed Ordinance would add Section 7.20.100, “San Diego River Corridor,” to the Santee Municipal Code, and implement specific time, place, and manner restrictions on the activities that cause these risks. Specifically, the proposed Ordinance would, within the San Diego River Corridor: (1) make the use of a “competent ignition source” unlawful, (2) prohibit any person using or possessing a “competent ignition source” from camping or using camp paraphernalia; (3) prohibit activities that increase flooding; (4) prohibit activities that cause or threaten to cause water pollution; and (5) prohibit activities that harm species or critical habitat.

**ENVIRONMENTAL REVIEW**

This Ordinance is not subject to the California Environmental Quality Act (“CEQA”) pursuant to Sections 15060(c)(2), 15060(c)(3) and/or 15061(b)(3) of the State CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, in that it will not result in a direct or reasonably foreseeable indirect physical change in the environment nor have a significant impact on the environment. Further, this Ordinance is exempt pursuant to Sections 15307 and 15308 of the State CEQA Guidelines, as its purpose is to mitigate fire risk and keep the San Diego River Corridor a safe, clean, and, healthy habitat. None of the exceptions to the exemptions found in State CEQA Guidelines section 15300.2 apply. Staff will file with the San Diego County Clerk a CEQA Notice of Exemption upon adoption of the Ordinance.

**FINANCIAL STATEMENT**

The adoption of this Ordinance will have no fiscal impact. However, City enforcement costs may increase in an unknown amount related to the Ordinance.

**CITY ATTORNEY REVIEW**

N/A

Completed





**RECOMMENDATION** *MSB*

1. Conduct the First Reading of the Ordinance;
2. Set the Ordinance for Second Reading on January 25, 2023; and
3. Find the Ordinance Category Exempt from the provisions of CEQA pursuant Sections 15060(c)(2), 15060(c)(3) and/or 15061(b)(3) and authorize the filing of a Notice of Exemption.

**ATTACHMENTS**

Staff Report  
Ordinance with Exhibit A

**STAFF REPORT  
CITY COUNCIL MEETING  
January 11, 2023**

**INTRODUCTION AND FIRST READING OF AN ORDINANCE TO ADD SECTION 7.20.100 TO THE SANTEE MUNICIPAL CODE TO PROTECT THE SAN DIEGO RIVER CORRIDOR; FINDING THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) INAPPLICABLE OR RELYING ON A CEQA EXEMPTION PER STATE CEQA GUIDELINES SECTIONS 15307 AND 15308**

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**A. BACKGROUND**

In March of 2021, the City Council set the goal of establishing the San Diego River Area Safety Plan. The establishment of this goal reflected the City’s commitment to maintaining the San Diego River Corridor as a safe, clean, and healthy habitat for all users. Since March of 2021, Santee staff has taken significant steps to improve conditions in the San Diego River Corridor, including, but not limited to, engaging in comprehensive brush removal and fire clearance activities. The proposed Ordinance represents an important additional step toward implementing City Council’s goal.

The San Diego River Corridor is an extremely valuable common resource for the residents of the City, the County of San Diego, and visitors. However, the area is vulnerable to the human-created risks such as fires, flooding, water pollution, and the destruction of critical habitat. The proposed Ordinance establishes reasonable time, place and manner restrictions on the activities that create these risks. In this way, the proposed Ordinance protects the public’s health, safety and welfare while also allowing the public to continue to safely enjoy the San Diego River Corridor.

**B. ANALYSIS**

The proposed Ordinance focuses on four critical activities that create significant threats to public health, safety and welfare in the San Diego River Corridor—human-caused fires, increased flooding risk, water pollution and habitat destruction.

Human-caused wildfires are a frequent natural disaster in California, causing significant harm and loss to individuals, communities, wildlife and great swaths of natural landscape. The frequency, duration and size of wildfires have increased over the last several decades and continue to pose significant fire risk within the City. The map, attached to this staff report as Attachment ‘A’, illustrates the number and location of fires within the San Diego River Corridor and serves to demonstrate the need for the City to use its police powers to prevent activities that result in wildfires within the San Diego River Corridor. The map illustrates that the City has experienced approximately 200 separate fires in the San Diego River Corridor over the last two years.

Most of California is subject to some degree of fire risk, however, specific activities by humans in specific areas make fires particularly hazardous. Areas that are especially vulnerable to the threat of wildfires, include “wildlands” that are covered by native vegetation that is composed of highly combustible grasses, dense brush and chaparral, which are commonly found in the San Diego River Corridor. Approximately 50% of the City is classified as “wildland” for fire purposes. In addition, the City annually experiences extended periods of high temperatures with little or no precipitation, and strong seasonal dry winds from the east (i.e., “Santa Ana Winds”) that can significantly enlarge wildland fires and cause abrupt and unpredictable changes in fire direction, adding to the fire danger and severity within the City. As a result, a significant area of the City, including the San Diego River Corridor, is located within a high or very high fire hazard severity zone.

In addition to human-caused fires, human activities within the San Diego River Corridor cause flooding, water pollution and habitat degradation risks. Trash, debris, and other human-caused impediments placed within the San Diego River Corridor obstruct water flow and can result in increased flooding. The sustained presence of humans within the San Diego River Corridor introduces pollutants that cause degraded water quality. Finally, the sustained presence of humans in the San Diego River Corridor harms species and habitat in the area.

Findings documenting all of these risks are contained in the proposed Ordinance.

The proposed Ordinance intends to mitigate and prevent the threat of fire, flooding, water pollution and habitat destruction, and thereby protect the public’s health, safety, and welfare, by establishing reasonable time, place and manner restrictions within the San Diego River Corridor. The proposed Ordinance would: (1) make it unlawful and a public nuisance for any person to use a “Competent Ignition Source” to cause a or intend to cause a fire within the San Diego River Corridor; (2) prohibit any person using or possessing a “Competent Ignition Source” from camping or using camping paraphernalia in the San Diego River Corridor; (3) prohibit activities that increase flooding risk; (4) prohibit activities that cause or threaten to cause water pollution; and (5) prohibit activities that harm species or destroy critical habitat.

### **C. RECOMMENDATION**

Approve the First Reading and introduction of the Ordinance to amend the Santee Municipal Code to add Section 7.20.100, and set the Ordinance for Second Reading on January 25, 2023.

Attachment 'A'

# Incident Locations Relative to River Corridor, Sept '20 - Present



ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, ADDING SECTION 7.20.100 TO THE SANTEE MUNICIPAL CODE, TO PROTECT THE SAN DIEGO RIVER CORRIDOR, MITIGATE WILDFIRE AND FLOODING RISK IMPROVE WATER QUALITY AND PREVENT THE DESTRUCTION OF CRITICAL HABITAT**

**WHEREAS**, pursuant to Article XI, Section 5 of the California Constitution, and Government Code section 37100, the legislative body of a city may pass ordinances not in conflict with the Constitution and laws of the State or the United States; and

**WHEREAS**, the City of Santee, California (“City”) is a charter city, duly organized under the California Constitution, the Santee City Charter, and the laws of the State of California; and

**WHEREAS**, the San Diego River Corridor, as defined in this Ordinance and as depicted in Exhibit “A”, is an extremely valuable common resource for the people of the City, the County of San Diego, and the State. As such, the City is committed to keeping the San Diego River Corridor as a safe, clean, and healthy habitat for all users of the San Diego River Corridor, including people, wildlife species and fauna, including those with protected species status; and

**WHEREAS**, communities such as the City, especially in areas such as the San Diego River Corridor, are continually faced with the threat of wildfires, which, when they occur, cause substantial damage to life and property and result in habitat loss; and

**WHEREAS**, the City Council has determined that the San Diego River Corridor is at risk from human-caused fires and other activities that result in increased flooding risk and water pollution; and

**WHEREAS**, the City encourages the safe use of open spaces and facilities within the City, including the San Diego River Corridor, by all members of the public; and

**WHEREAS**, however, the sustained presence of people in the San Diego River Corridor has created unsafe, unsanitary, unhealthy, and dangerous conditions, including but not limited to, the regular ignition of fires by humans, which affect San Diego River Corridor users, public safety first responders, and the general public; and

**WHEREAS**, human-caused wildfires are a frequent natural disaster in California, causing significant harm and loss to individuals, communities, wildlife and great swaths of natural landscape and the frequency, duration and size of wildfires have increased over the last several decades; and

**ORDINANCE NO. \_\_\_\_\_**

**WHEREAS**, the University of Southern California reported that wildfires scorched the American West in 2021, and that “[i]n California alone, Cal Fire recorded 8,835 wildfires that destroyed more than 2.5 million acres cumulatively”; and

**WHEREAS**, while most of California is subject to some degree of fire risk, specific activities by humans in specific areas make fires particularly hazardous; and

**WHEREAS**, approximately 50% of the City is classified as “wildland” for fire purposes, and is covered by vegetation composed of highly combustible grasses, dense brush and chaparral; and

**WHEREAS**, the City annually experiences extended periods of high temperatures with little or no precipitation, and strong seasonal dry winds from the east (i.e., “Santa Ana Winds”) that can significantly enlarge wildland fires and cause abrupt and unpredictable changes in fire direction, adding to the fire danger and severity within the City; and

**WHEREAS**, a significant area of the City is located within a high or very high fire hazard severity zone, including portions of the San Diego River Corridor; and

**WHEREAS**, the San Diego River Corridor is an area where houses meet or intermingle with undeveloped wildland vegetation, and this dynamic places this area especially at risk for human-environment conflicts such as wildland fires, increased flooding risk, water pollution, habitat fragmentation, invasive species, and biodiversity decline; and

**WHEREAS**, the U.S. Forest Service Research Data Archive from 2000 to 2017, nearly 85% of wildland fires in the United States are caused by humans; and

**WHEREAS**, a growing number of people have established a regular and sustained presence within the San Diego River Corridor or more remote canyon areas, and as more people are regularly present within high fire zones, the risk of fires starting and causing harm and loss of life has increased; and

**WHEREAS**, persons maintaining a regular and sustained presence in the San Diego River Corridor often start fires for activities such as cooking food and keeping warm, and these activities increase the risk of nearby brush catching fire and rapidly spreading; and

**WHEREAS**, persons maintaining a regular and sustained presence in the San Diego River Corridor also start fires to burn trash, burn copper wire or for purposes other than cooking and warmth, and these activities increase the risk of nearby brush catching fire and rapidly spreading; and

**WHEREAS**, as a result of the regular and sustained presence of people in the San Diego River Corridor, and the fire ignition activities engaged in while present in this area, the City has experienced over two hundred separate fire incidents in the San Diego River Corridor during the last two years; and

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**WHEREAS**, the risk of fires poses a significant threat to all people, especially persons who are not connected to the emergency notification system and who may experience challenges in safely evacuating; and

**WHEREAS**, efforts to notify or evacuate persons in remote locations can cause undue harm to outreach workers and first responders including personnel of the Santee Fire Department and San Diego County Sheriff's Department; and

**WHEREAS**, for all of these reasons, the sustained presence of people in the San Diego River Corridor, and the associated fire ignition activities they engage in, pose a clear and imminent danger demanding immediate action to prevent or mitigate loss of, or damage to life, health, property and/or essential services; and

**WHEREAS**, as climate change extends and exacerbates the fire season, particular areas of the City pose an increasingly serious risk of harm or loss of life for the City's public safety personnel and residents; and

**WHEREAS**, to mitigate the foregoing risks, the City Council has determined to prohibit activities that cause the ignition of fires, including cooking and the use of an open flame, many of which are activities associated with the sustained presence of people in areas in the San Diego River Corridor; and

**WHEREAS**, this Ordinance is also intended to address the increased flooding risk, water pollution risks and impacts to habitat associated with the regular and sustained presence of persons in the San Diego River Corridor. The regular and sustained presence of persons in the San Diego River Corridor adversely changes the flow of water in the system because of human made changes to flow patterns, results in discharges of pollutants, including bacteria, trash and metals, and other wastes to water, and results in the destruction of habitat and species; and

**WHEREAS**, the City is continuing to develop public and private partnerships to provide a wide-range of services and resources for persons who maintain a regular and sustained presence in the San Diego River Corridor, and to increase permanent supportive housing opportunities in the City; and

**WHEREAS**, the City has allocated \$1,266,498 in federal funding received from The Coronavirus Aid, Relief, and Economic Security Act ("CARES Act") and the American Rescue Plan Act ("ARPA") to increase services resources. The City has current partnerships with the following housing support services: PATH San Diego, East County Transitional Living Center, Home Start, Inc., and the East County Homeless Task Force; and

**WHEREAS**, this Ordinance allows for the implementation of specific time, place, and manner restrictions to establish clear fire, flood and water pollution mitigation measures in order to best serve the health, safety, and general welfare of all. This Ordinance is intended to avoid unsafe, unsanitary and unhealthful conditions, and the degradation or destruction of open spaces, water bodies, and wetlands in the City; and

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**WHEREAS**, City Council desires to protect the public health, safety, and welfare of its first responders, residents, businesses, and visitors; and

**WHEREAS**, a further principal threat to the public health, safety, and welfare is the potential destruction of, damage to, or interference with the flora, fauna, hillside habitat, and wildlife in the San Diego River Corridor, and the City desires to prevent this destruction and damage as well.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, DOES HEREBY ORDAIN AS FOLLOWS:**

**SECTION 1.** Section 7.20.100 is hereby added to Title 7 of the Santee Municipal Code to read as follows:

**7.20.100 SAN DIEGO RIVER CORRIDOR**

**7.20.110 Declaration of Purpose.**

The City Council of the City of Santee intends to mitigate the threat of fire, flooding, water pollution, habitat destruction and other potential causes of destruction and damage to and interference with the San Diego River Corridor, in order to protect the health, safety, and welfare of the public, by placing reasonable time, place and manner restrictions on activities associated with fire ignition, flood risk creation, habitat destruction and water pollution in the San Diego River Corridor.

**7.20.120 Definitions.**

When used in this chapter, the following words and phrases have the following meanings:

“Fire Prevention Official” means the fire chief, a deputy fire chief, the fire marshal, fire prevention officer or code enforcement officer.

“Competent Ignition Source” or “Ignition Source” means any source that is capable of kindling a fire. It may be in the form of a mechanical or electrical spark, glowing ember, open flame, chemical reaction, friction or similar action that is capable of kindling a fire.



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“San Diego River Corridor” means the following areas:

**AREA 1:**

**SAN DIEGO RIVER - WESTERN CITY LIMITS TO  
CUYAMACA STREET**

1. All portions of the State (“Caltrans”) right-of-way adjacent to the San Diego River and Forester Creek confluence, including Assessor’s Parcel Numbers (“APN”) 383-071-09 and APN 383-071-08.
2. APN 383-071-08.
3. APN 383-071-04.
4. All portions of the City of Santee right-of-way underneath the Carlton Hills Boulevard Bridge crossing the San Diego River.
5. APN 383-070-62, excluding the City of Santee installed barbeques at designated picnic table areas within the Mast Park boundary north of the San Diego River Trail.
6. APN 381-040-24, excluding the City of Santee installed barbeques at designated picnic table areas and the disc golf concessions area within the Mast Park boundary north of the San Diego River Trail.
7. APN 381-040-42.
8. All portions of the City of Santee right-of-way underneath the Cuyamaca Street Bridge crossing the San Diego River.

**AREA 2:**

**SAN DIEGO RIVER - CUYAMACA STREET TO  
MAGNOLIA AVENUE**

1. All portions of the City of Santee right-of-way underneath the Cuyamaca Street Bridge crossing the San Diego River.
2. APN 381-050-77.
3. APN 381-050-55.
4. APN 381-050-61.
5. APN 381-050-57.
6. APN 381-050-60.
7. APN 381-050-79.
8. A three segmented portion of the City of Santee right-of-way on Cottonwood Avenue from APN 381-760-77 to the southern terminus adjacent to APN 381-050-77 and APN 381-160-80. The right-of-way from above said portion of Cottonwood Avenue right-of-way easterly to the Magnolia Avenue Bridge crossing the San Diego River. The right-

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of-way over and along Chubb Lane from the San Diego River confluence to Magnolia Avenue.

9. APN 381-760-77.
10. APN 381-160-82.
11. APN 381-160-80.
12. All portions of the City of Santee right-of-way underneath the Magnolia Avenue Bridge crossing the San Diego River.

**AREA 3:  
SAN DIEGO RIVER - MAGNOLIA AVENUE TO EASTERN  
CITY LIMITS**

1. All portions of the City of Santee right-of-way underneath the Magnolia Avenue Bridge crossing the San Diego River.
2. APN 381-160-79.
3. APN 381-160-42.
4. APN 381-050-72.
5. The north easterly portion of APN 773-811-66. Adjacent to APN 381-050-72, APN 381-160-42 and north of the retaining wall at the northern easterly portion of APN 773-811-66 adjacent to the San Diego River.
6. APN 381-160-35.
7. APN 381-160-19.
8. APN 381-160-69.
9. APN 381-171-04.
10. APN 381-171-07.

**AREA 4:  
FORESTER CREEK – SAN DIEGO RIVER CONFLUENCE  
TO SOUTHERN CITY LIMITS**

1. All portions of the State (“Caltrans”) right-of-way adjacent to the north side of Mission Gorge Road from the San Diego River and Forester Creek confluence to APN 383-153-12 and south of the residential properties along the southern side of Gorge Avenue.
2. APN 383-153-12.
3. All portions of the City of Santee right-of-way underneath the Mission Gorge Road Bridge crossing the Forester Creek Channel.
4. APN 383-124-19.
5. All portions of the City of Santee right-of-way along the Forester Creek Channel from Mission Gorge Road to the

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- State Route 52 overcrossing.
6. All portions of the State (“Caltrans”) right-of-way underneath the SR-52 bridges crossing the Forester Creek Channel.
  7. APN 383-124-20.
  8. APN 383-124-55.
  9. APN 383-124-58.
  10. APN 383-124-62.
  11. APN 384-011-18.
  12. APN 384-011-17.
  13. All portions of the City of Santee right-of-way along the Forester Creek Channel from the State Route 52 overcrossing to the olive lane bridge adjacent to APN 384-020-60 and APN 384-311-23.
  14. APN 384-011-19.
  15. APN 384-012-14.
  16. APN 384-012-54.
  17. APN 384-012-15.
  18. APN 384-012-47.
  19. APN 384-012-56.
  20. APN 384-012-21.
  21. APN 384-012-57.
  22. APN 384-020-60.
  23. All portions of the City of Santee right-of-way underneath the Olive Lane Bridge crossing the Forester Creek Channel.
  24. APN 384-311-23.
  25. APN 384-311-43.
  26. APN 384-311-44.
  27. APN 384-311-45.
  28. All portions of the City of Santee right-of-way located at the north east side of Prospect Avenue at the Pathway Street intersection. Adjacent to APN’s 384-311-45 and 384-311-51.
  29. APN 384-311-51.
  30. All portions of the City of Santee right-of-way underneath the Prospect Avenue Bridge crossing the Forester Creek Channel.

The San Diego River Corridor is also depicted in Exhibit “A.”

The San Diego River Corridor as described and depicted herein is also a “waterbody” as used in section 7.20.060 of this Code.

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**7.20.130 Prohibited Activities.**

- A. It is unlawful and a public nuisance for any person, other than as directed by a Fire Prevention Official, to use a Competent Ignition Source to cause or intend to cause a fire within the San Diego River Corridor. Unlawful activities include, but are not limited to, arson, burning of debris or wire, campfires, cooking, or use of explosives or fireworks.
- B. It is unlawful and a public nuisance for any person using or possessing a Competent Ignition Source to camp or use camp paraphernalia in the San Diego River Corridor.
- C. It is unlawful and a public nuisance for any person to camp or use camp paraphernalia within the San Diego River Corridor in a manner that obstructs or could obstruct the flow of water within the San Diego River Corridor.
- D. It is unlawful and a public nuisance for any person to camp or use camp paraphernalia within the San Diego River Corridor in a manner that causes or threatens to cause a discharge of any pollutant or waste within the San Diego River Corridor.
- E. It is unlawful and a public nuisance for any person to camp or use camp paraphernalia within the San Diego River Corridor in a manner that causes or threatens to cause damage to any threatened or endangered species or critical habitat.

**7.20.140 Abatement.**

- A. A violation of section 7.20.130 may be abated in any manner permitted by the Municipal Code or state or federal law.
- B. Because of the extreme risk of fires, flooding, water pollution or habitat destruction to health and public safety, a violation of section 7.20.130 may be abated immediately in accordance with the following procedures:

**ORDINANCE NO. \_\_\_\_\_**

1. The Fire Prevention Official may make a determination that (1) an activity in the San Diego River Corridor constitutes an activity prohibited by section 7.20.130 and (2) such activity creates an immediate threat to the health, safety or welfare of persons or property in the San Diego River Corridor.

2. If the Fire Prevention Official makes the above determinations, then a directive will be issued to proceed with any abatement required to alleviate the immediately dangerous conditions.

3. After any abatement activity for a violation or violations of section 7.20.130, the City will provide notice of such abatement to any responsible parties and a post-abatement hearing in accordance with section 1.14.030.

**7.20.150 Interference with Abatement.**

No person shall willfully prevent, delay, resist, obstruct, or otherwise interfere with a City official, employee, contractor, or volunteer in their execution of an abatement pursuant to this Chapter.

**7.20.160 Violation—Penalty.**

- A. In addition to any other remedy allowed by law, any person who violates a provision of this chapter is subject to criminal sanctions, civil actions, and administrative penalties pursuant to Chapters 1.04, 1.08, 1.10, and 1.12.
- B. Violations of this chapter are hereby declared to be a public nuisance.
- C. All remedies prescribed under this chapter are cumulative and the election of one or more remedies does not bar the City from any other available remedy.

**SECTION 2. CEQA.** The City Council has reviewed the matter and hereby finds that this ordinance is not subject to the California Environmental Quality Act (“CEQA”) pursuant to Sections 15060(c)(2), 15060(c)(3) and/or 15061(b)(3) of the State CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, in that it will not result in a direct or reasonably foreseeable indirect physical change in the environment

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nor have a significant impact on the environment. Further, this ordinance is exempt pursuant to Sections 15307 and 15308 of the State CEQA Guidelines, as its purpose is to mitigate fire risk and keep the San Diego River Corridor a safe, clean, and, healthy habitat. None of the exceptions to the exemptions found in State CEQA Guidelines section 15300.2 apply. Staff is hereby directed to prepare, execute and file with the San Diego County Clerk a CEQA Notice of Exemption within five (5) working days of the adoption of this Ordinance.

**SECTION 3.** Severability. If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance or any part thereof is for any reason held to be unconstitutional, such decision shall not affect the validity of the remaining portion of this Ordinance or any part thereof. The City Council of the City of Santee hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause or phrase thereof, irrespective of the fact that any one or more section, subsection, subdivision, paragraph, sentence, clause or phrases be declared unconstitutional.

**SECTION 4.** This Ordinance shall become effective thirty (30 days) after its adoption.

**SECTION 5.** The City Clerk is hereby directed to certify the adoption of this Ordinance and cause the same to be published as required by law.

**INTRODUCED AND FIRST READ** at a Regular Meeting of the City Council of the City of Santee, California, on the \_\_\_\_ day of \_\_\_\_\_, 2023, and thereafter **ADOPTED** at a Regular Meeting of the City Council held on this \_\_\_\_ day of \_\_\_\_\_, 2023, by the following vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**APPROVED**

\_\_\_\_\_  
JOHN MINTO, MAYOR

**ATTEST:**

\_\_\_\_\_  
ANNETTE FAGAN ORTIZ, CITY CLERK

**EXHIBIT 'A'**

**Maps of the San Diego River Corridor**

(when codified include the following language in place of the map of the San Diego River Corridor: "Exhibit 'A' is on file with the City Clerk, and is available at 10601 Magnolia Avenue, Santee, California 92071)

**San Diego River Corridor**

**Area#1**

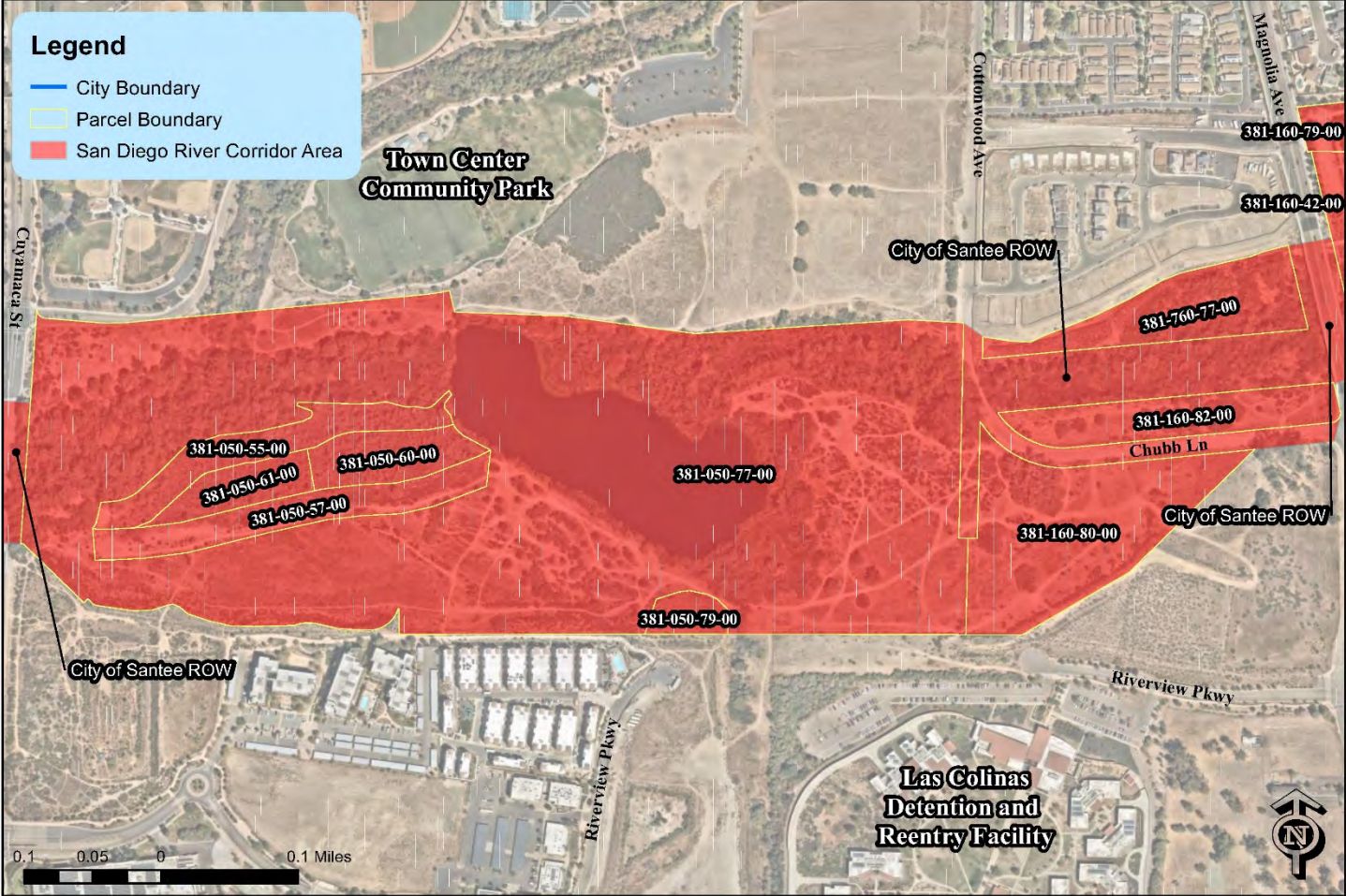
Western City Limits to Cuyamaca St.



# San Diego River Corridor

Area#2

Cuyamaca St. to Magnolia Ave.





# San Diego River Corridor

Area #3

Magnolia Ave. to Eastern City Limits



# Forester Creek

Area #4

San Diego River Confluence to Southern City Limits



**MEETING DATE** January 11, 2023

**ITEM TITLE** POSSIBLE CANCELLATION OF A REGULAR CITY COUNCIL SUMMER MEETING; FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA")

**DIRECTOR/DEPARTMENT** John W. Minto, Mayor

**SUMMARY**

It is the appropriate time for the City Council to review the calendar for possible cancellation of a Regular meeting during the summer months. Council has traditionally cancelled one of its summer meetings to accommodate various scheduling concerns and notice to the public. Staff is suggesting that Council select one of the following dates to cancel: July 12, July 26 or August 9. Staff requests Council determine the meeting to be cancelled.

**FINANCIAL STATEMENT**

N/A

**CITY ATTORNEY REVIEW**  N/A •  Completed

**RECOMMENDATION**

Identify preferred date for meeting cancellation and direct the City Clerk to post a Notice of Meeting Cancellation at the appropriate time.

**ATTACHMENT**

Calendar of summer meetings

# JULY 2023

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
						1
2	3	4	5	6	7	8
9	10	11	12 COUNCIL	13	14	15
16	17	18	19	20	21	22
23	24	25	26 COUNCIL	27	28	29
30	31					

# AUGUST 2023

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
		1	2	3	4	5
6	7	8	9 COUNCIL	10	11	12
13	14	15	16	17	18	19
20	21	22	23 COUNCIL	24	25	26
27	28	29	30	31		

**MEETING DATE** January 11, 2023

**ITEM TITLE** RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION SUCCESSOR AGENCY APPROVING THE RECOGNIZED OBLIGATION PAYMENT SCHEDULE FOR THE PERIOD FROM JULY 1, 2023 TO JUNE 30, 2024 (“ROPS 23-24”); FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

**DIRECTOR/DEPARTMENT** Heather Jennings, Finance

**SUMMARY**

On December 29, 2011, the California Supreme Court issued its decision in the case of *California Redevelopment Association v. Matosantos*, which addressed the constitutionality of Assembly Bills 1x26 and 1x27 (“AB 26” and “AB 27”). In accordance with this decision, all redevelopment agencies in the state of California were dissolved effective February 1, 2012. On January 11, 2012 the City Council elected to become the Successor Agency to the Santee Community Development Commission (“CDC”). As the Successor Agency, the City has certain administrative and other responsibilities for the winding down of redevelopment activities.

One such requirement is the preparation of Recognized Obligation Payment Schedules (“ROPS”). The ROPS lists all of the “enforceable obligations” of the CDC Successor Agency, the amounts and due dates of payments required for each enforceable obligation and the source of funding for each required payment. The attached resolution adopts the ROPS covering the period from July 1, 2023 through June 30, 2024 (“ROPS 23-24”). The primary enforceable obligation reflected on ROPS 23-24 is debt service on the CDC Successor Agency Tax Allocation Refunding Bonds 2016 Series A.

The Countywide Redevelopment Successor Agency Oversight Board will meet on January 20, 2023 to review and approve the ROPS and administrative expense budget in order to meet the February 1, 2023 filing deadline with the County Auditor-Controller, State Controller’s Office and the State Department of Finance.

**FINANCIAL STATEMENT** *HJ*

Adoption of the attached resolution along with the January 19, 2023 approval by the Countywide Redevelopment Successor Agency Oversight Board will provide for the receipt and expenditure of \$3,340,195 in redevelopment property tax trust fund (“RPTTF”) revenue in order to satisfy the enforceable obligations listed on the ROPS 23-24 for fiscal year 2023-24.

**CITY ATTORNEY REVIEW**  N/A •  Completed

**RECOMMENDATION** *MAB*  
Adopt the attached resolution.

**ATTACHMENT**  
Resolution (with Exhibit “A” ROPS 23-24)



**RESOLUTION NO. \_\_\_\_ CDCSA**

**A RESOLUTION OF THE CDC SUCCESSOR AGENCY OF THE CITY OF SANTEE,  
CALIFORNIA APPROVING THE RECOGNIZED OBLIGATION PAYMENT SCHEDULE  
FOR THE PERIOD FROM JULY 1, 2023 TO JUNE 30, 2024 (“ROPS 23-24”)**

**WHEREAS**, pursuant to the Community Redevelopment Law (Health and Safety Code Sections 33000 et seq.), the City Council of the City of Santee (“City”) created the Community Development Commission of the City of Santee (“CDC”); and

**WHEREAS**, the CDC was responsible for implementing the Amended and Restated Redevelopment Plan for the Santee Community Redevelopment Project covering certain properties within the City (“Project Areas”); and

**WHEREAS**, as part of the 2011-12 State budget bill, the California State Legislature enacted, and the Governor signed, companion bills AB 1X26 and AB 1X27; and

**WHEREAS**, on December 29, 2011, the California Supreme Court upheld, in large part, AB 1x26 and overturned AB 1x27, which dissolved all redevelopment agencies as of February 1, 2012; and

**WHEREAS**, on January 11, 2012 the City Council elected to become the successor agency to the CDC (“CDC Successor Agency”); and

**WHEREAS**, in accordance with Health and Safety Code section 34177 (o) (1) the ROPS for the period from July 1, 2023 through June 30, 2024 (“ROPS 23-24”) must be approved by the Successor Agency and Countywide Redevelopment Successor Agency Oversight Board and submitted to the State Department of Finance, State Controller and County Auditor-Controller for review by February 1, 2023; and

**WHEREAS**, on January 19, 2023 the Countywide Redevelopment Successor Agency Oversight Board is scheduled to meet and approve ROPS 23-24.

**NOW THEREFORE BE IT RESOLVED**, by the CDC Successor Agency of the City of Santee, California as follows:

**Section 1.** Recitals. The Recitals set forth above are true and correct and incorporated herein by reference.

**Section 2.** Approval of ROPS. The Recognized Obligation Payment Schedule for the period from July 1, 2023 to June 30, 2024 (“ROPS 23-24”) is hereby approved, in substantially the form attached hereto as Exhibit “A”.

**Section 3.** Posting; Transmittal to Appropriate Agencies. The Director of Finance or her designee is hereby authorized and directed to provide the Recognized Obligation Payment Schedule to the Countywide Redevelopment Successor Agency Oversight Board for review and certification, to the State Department of Finance, the State Controller’s Office and the County Auditor-Controller, and post it on the City’s web site.

**Section 4.** Effective Date. This Resolution shall become effective upon its adoption.

**ADOPTED** by the CDC Successor Agency of the City of Santee, California at a Regular Meeting thereof held this 11<sup>th</sup> day of January 2023 by the following roll call vote to wit:

**AYES:**

**NOES:**

**ABSENT:**

**APPROVED**

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**JOHN W. MINTO, CHAIR**

**ATTEST**

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**ANNETTE ORTIZ, CMC, SECRETARY**

Attachments: Exhibit "A": Recognized Obligation Payment Schedule for the Period from July 1, 2023 to June 30, 2024 ("ROPS 23-24")

**Recognized Obligation Payment Schedule (ROPS 23-24) - Summary  
Filed for the July 1, 2023 through June 30, 2024 Period**

**Successor Agency:** Santee  
**County:** San Diego

<b>Current Period Requested Funding for Enforceable Obligations (ROPS Detail)</b>	<b>23-24A Total (July - December)</b>	<b>23-24B Total (January - June)</b>	<b>ROPS 23-24 Total</b>
<b>A Enforceable Obligations Funded as Follows (B+C+D)</b>	<b>\$ 1,882</b>	<b>\$ -</b>	<b>\$ 1,882</b>
B Bond Proceeds	-	-	-
C Reserve Balance	-	-	-
D Other Funds	1,882	-	1,882
<b>E Redevelopment Property Tax Trust Fund (RPTTF) (F+G)</b>	<b>\$ 1,670,419</b>	<b>\$ 1,669,776</b>	<b>\$ 3,340,195</b>
F RPTTF	1,656,734	1,656,091	3,312,825
G Administrative RPTTF	13,685	13,685	27,370
<b>H Current Period Enforceable Obligations (A+E)</b>	<b>\$ 1,672,301</b>	<b>\$ 1,669,776</b>	<b>\$ 3,342,077</b>

**Certification of Oversight Board Chairman:**

Pursuant to Section 34177 (o) of the Health and Safety code, I hereby certify that the above is a true and accurate Recognized Obligation Payment Schedule for the above named successor agency.

\_\_\_\_\_  
Name Title

/s/ \_\_\_\_\_  
Signature Date



**Santee**  
**Recognized Obligation Payment Schedule (ROPS 23-24) - ROPS Detail**  
**July 1, 2023 through June 30, 2024**

A	B	C	D	E	F	G	H	I	J	K	ROPS 23-24A (Jul - Dec)					Q	ROPS 23-24B (Jan - Jun)					W							
											L	M	N	O	P		23-24A Total	Fund Sources					23-24B Total						
																		Bond Proceeds	Reserve Balance	Other Funds	RPTTF			Admin RPTTF	Bond Proceeds	Reserve Balance	Other Funds	RPTTF	Admin RPTTF
								\$45,752,830		\$3,342,077	\$-	\$-	\$1,882	\$1,656,734	\$13,685	\$1,672,301	\$-	\$-	\$-	\$1,656,091	\$13,685	\$1,669,776							
4	Bond trustee fees	Fees	01/25/2005	08/01/2041	U.S. Bank	Bond trustee fees	Santee	25,200	N	\$1,400	-	-	-	1,400	-	\$1,400	-	-	-	-	-	-	\$-						
5	Arbitrage rebate analysis	Fees	05/11/2005	08/01/2041	BLX Group Inc.	Arbitrage rebate calculations	Santee	23,300	N	\$-	-	-	-	-	-	\$-	-	-	-	-	-	-	\$-						
6	Continuing disclosure reporting	Fees	01/18/2012	08/01/2041	KNN Public Finance	Continuing disclosure reporting	Santee	13,500	N	\$750	-	-	-	-	-	\$-	-	-	-	750	-	\$750							
10	Successor agency administration	Admin Costs	07/01/2023	06/30/2024	City of Santee	Administrative cost reimbursement	Santee	27,370	N	\$27,370	-	-	-	-	13,685	\$13,685	-	-	-	-	-	13,685	\$13,685						
18	Tax Allocation Refunding Bonds 2016 Series A	Refunding Bonds Issued After 6/27/12	11/08/2016	08/01/2041	U.S. Bank (trustee)	Provides for the current refunding of all outstanding Tax Allocation Bonds 2005 Series A and for the advance refunding of all outstanding Tax Allocation Bonds 2011 Series A	Santee	45,663,460	N	\$3,312,557	-	-	1,882	1,655,334	-	\$1,657,216	-	-	-	1,655,341	-	\$1,655,341							

**Santee**  
**Recognized Obligation Payment Schedule (ROPS 23-24) - Report of Cash Balances**  
**July 1, 2020 through June 30, 2021**  
(Report Amounts in Whole Dollars)

Pursuant to Health and Safety Code section 34177 (l), Redevelopment Property Tax Trust Fund (RPTTF) may be listed as a source of payment on the ROPS, but only to the extent no other funding source is available or when payment from property tax revenues is required by an enforceable obligation.

A	B	C	D	E	F	G	H
		<b>Fund Sources</b>					
		<b>Bond Proceeds</b>		<b>Reserve Balance</b>	<b>Other Funds</b>	<b>RPTTF</b>	
	<b>ROPS 20-21 Cash Balances (07/01/20 - 06/30/21)</b>	Bonds issued on or before 12/31/10	Bonds issued on or after 01/01/11	Prior ROPS RPTTF and Reserve Balances retained for future period(s)	Rent, grants, interest, etc.	Non-Admin and Admin	<b>Comments</b>
1	<b>Beginning Available Cash Balance (Actual 07/01/20)</b> RPTTF amount should exclude "A" period distribution amount.		785,167	9,424	15,178		Column E: Beginning available cash balance of \$7,097 plus ROPS 19-20 PPA of \$2,327
2	<b>Revenue/Income (Actual 06/30/21)</b> RPTTF amount should tie to the ROPS 20-21 total distribution from the County Auditor-Controller		25		1,882	3,345,974	
3	<b>Expenditures for ROPS 20-21 Enforceable Obligations (Actual 06/30/21)</b>		(27,323)	5,496	5,512	3,340,396	Column D: \$178 cash on hand with the trustee, \$1 rounding adjustment and a \$27,500 increase in the required advance principal payment to the bond trustee from the prior year
4	<b>Retention of Available Cash Balance (Actual 06/30/21)</b> RPTTF amount retained should only include the amounts distributed as reserve for future period(s)		812,515	3,928	9,666		Column D: funds required to be held by bond trustee for the 8/1/21 debt service payment; Column E: \$1,601 ROPS 18-19 PPA expended in ROPS 21-22, \$2,327 ROPS 19-20 PPA expended in ROPS 22-23; Column F: \$5,744 expended in ROPS 21-22; \$3,922 expended in ROPS 22-23

Pursuant to Health and Safety Code section 34177 (I), Redevelopment Property Tax Trust Fund (RPTTF) may be listed as a source of payment on the ROPS, but only to the extent no other funding source is available or when payment from property tax revenues is required by an enforceable obligation.

A	B	C	D	E	F	G	H
		<b>Fund Sources</b>					
		<b>Bond Proceeds</b>		<b>Reserve Balance</b>	<b>Other Funds</b>	<b>RPTTF</b>	
	<b>ROPS 20-21 Cash Balances (07/01/20 - 06/30/21)</b>	Bonds issued on or before 12/31/10	Bonds issued on or after 01/01/11	Prior ROPS RPTTF and Reserve Balances retained for future period(s)	Rent, grants, interest, etc.	Non-Admin and Admin	<b>Comments</b>
5	<b>ROPS 20-21 RPTTF Prior Period Adjustment</b> RPTTF amount should tie to the Agency's ROPS 20-21 PPA form submitted to the CAC			<b>No entry required</b>		5,578	
6	<b>Ending Actual Available Cash Balance (06/30/21)</b> C to F = (1 + 2 - 3 - 4), G = (1 + 2 - 3 - 4 - 5)	\$-	\$-	\$-	\$1,882	\$-	<b>Column F: Funds to be applied in ROPS 23-24</b>

**Santee**  
**Recognized Obligation Payment Schedule (ROPS 23-24) - Notes**  
**July 1, 2023 through June 30, 2024**

<b>Item #</b>	<b>Notes/Comments</b>
4	
5	Reports are prepared every 5 years with next report due August 2026.
6	
10	
18	